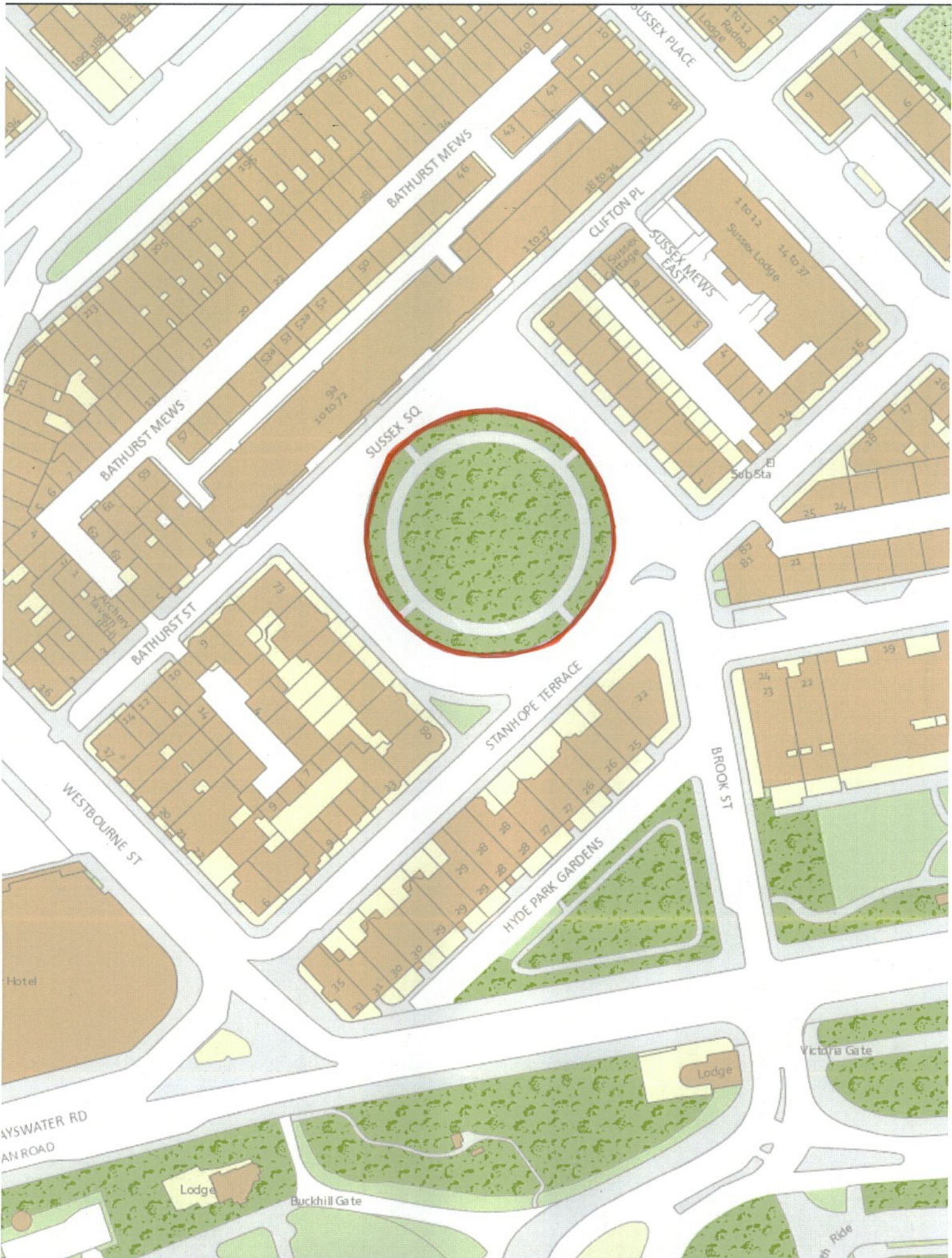


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 24 November 2015	Classification For General Release	
Report of Director of Planning		Wards involved Hyde Park	
Subject of Report	1. Sussex Square, London, W2 2. Gloucester Square, London, W2 3. Hyde Park Square, London, W2		
Proposal	Removal of existing fences, gates and railings and installation of replacement railings and gates and associated works to boundary of communal gardens (to Sussex Square, Gloucester Square and Hyde Park Square respectively).		
Agent	Knight Frank LLP		
On behalf of	The Church Commissioners for England		
Registered Number	Application 1 – Sussex Square 15/03105/FULL Application 2 – Gloucester Square 15/03109/FULL Application 3 – Hyde Park Square 15/03110/FULL	TP / PP No	TP/25701
Date of Application	09.04.2015	Date amended/ completed	04.11.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Bayswater		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

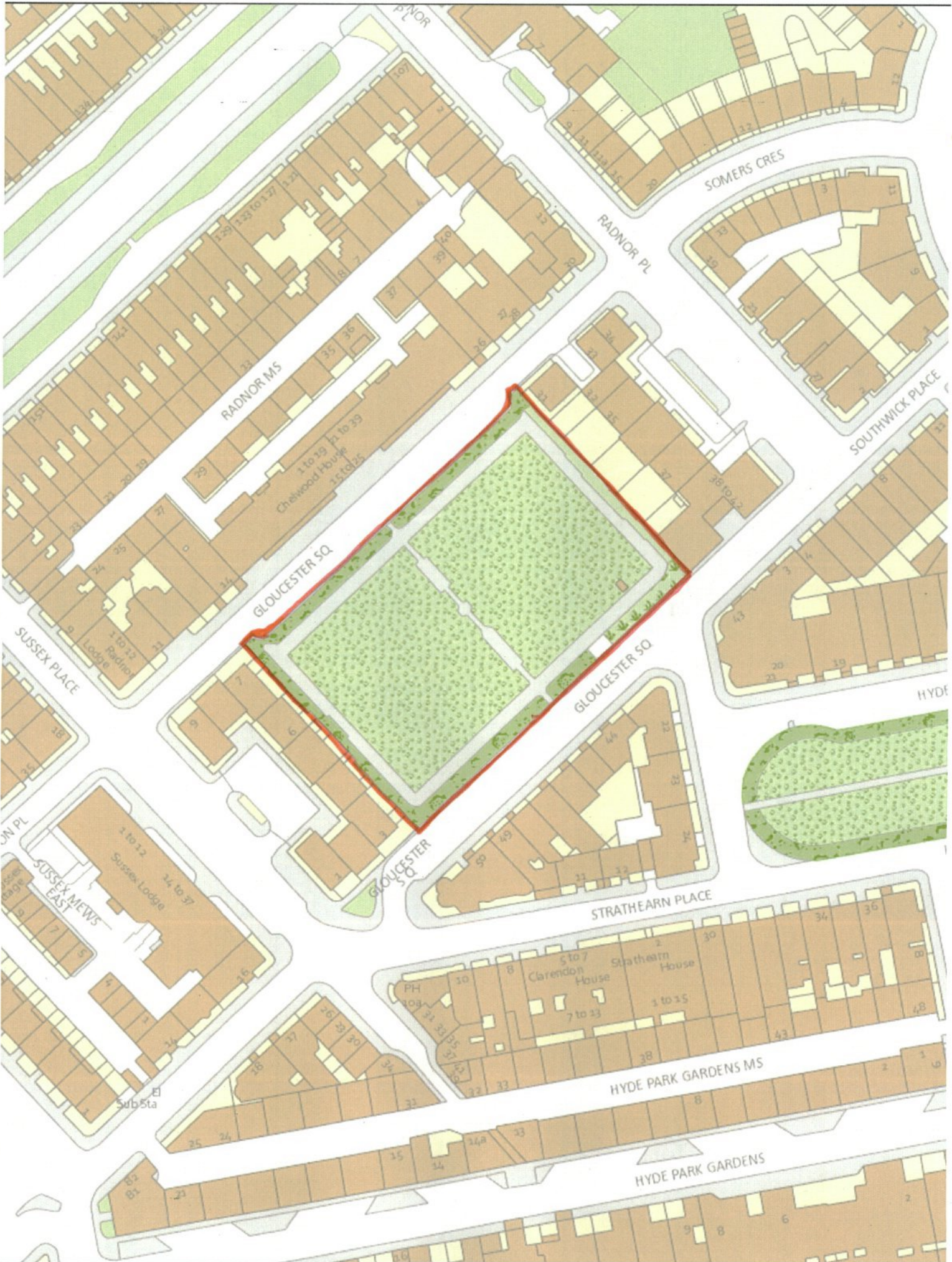
1. RECOMMENDATION

1. Application 1 (Sussex Square - 15/03105/FULL) - Grant conditional permission.
2. Application 2 (Gloucester Square - 15/03109/FULL) - Grant conditional permission.
3. Application 3 (Hyde Park Square - 15/03110/FULL) - Grant conditional permission.



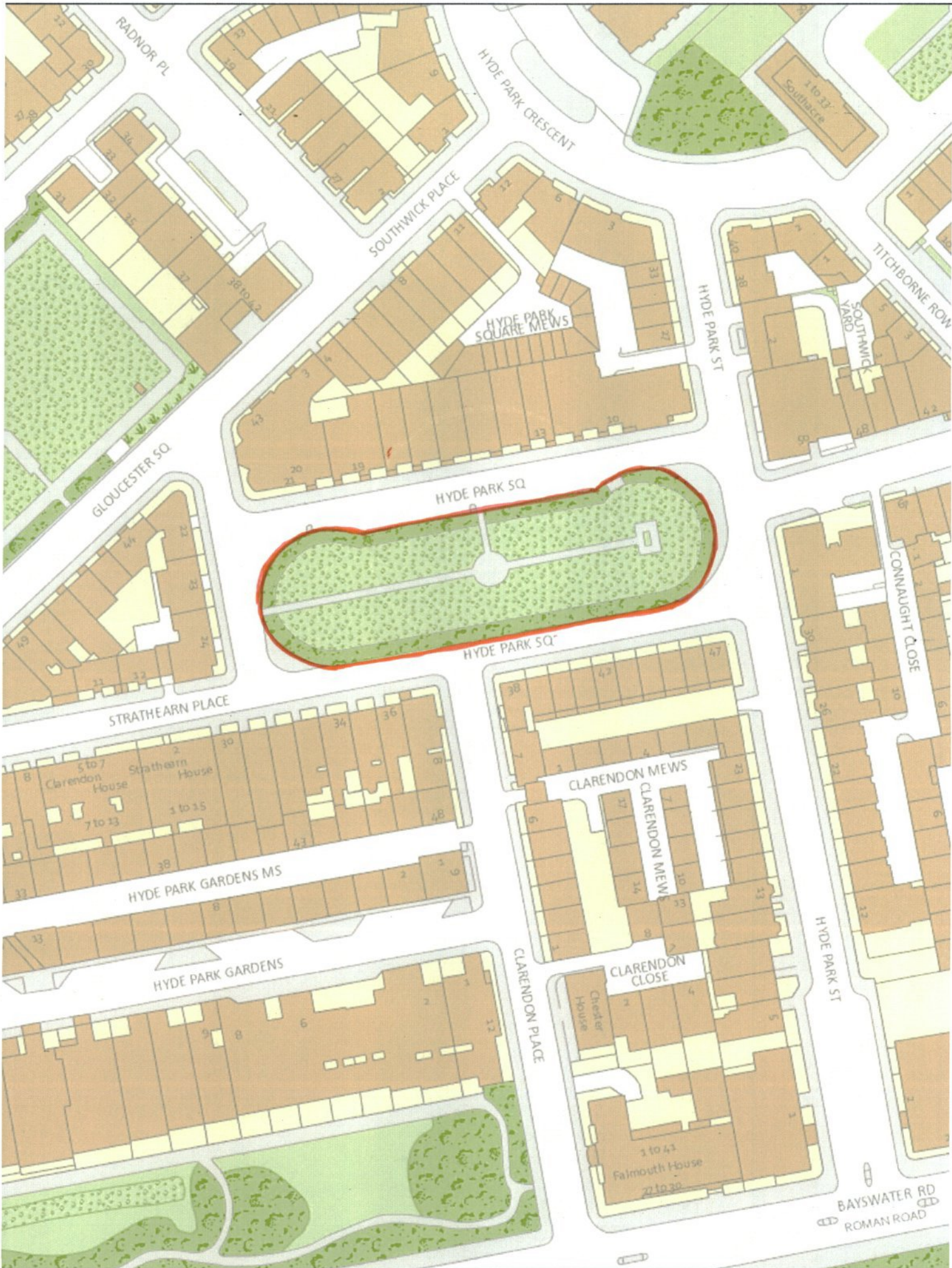


SUSSEX SQUARE, W2





GLOUCESTER SQUARE, W2





HYDE PARK SQUARE, W2

2. SUMMARY

Three separate applications (one for each Square) have been submitted proposing to remove the existing fencing, railings and gates around the central landscaped areas to three of the squares within Bayswater; namely Sussex Square, Gloucester Square and Hyde Park Square, and to replace them with new railings and gates. These three squares are all within the Bayswater Conservation Area, and the central landscaped areas to all three squares are listed in the London Squares Preservation Act of 1931. At some point in the mid 20th century the original boundary railings which formerly surrounded these landscaped garden areas were removed and replaced principally by chain link fencing.

Objections and concerns have been received relating to all three applications.

The key issues in these cases are:

- The impact of the proposed works upon the character and appearance of the Bayswater Conservation Area and, as appropriate, the setting of surrounding Grade II listed buildings.
- The impact of the proposed works on the trees and landscaping cover to the garden areas.
- The impact of the proposed works upon the adjacent public highway.

The proposals for each of the three squares are considered to accord with the relevant policies within the Westminster City Plan: Strategic Policies and the Unitary Development Plan (UDP) adopted in January 2007 and all three applications are recommended for approval.

3. CONSULTATIONS

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL):-

COUNCILLOR FLORU

Objects to the proposals on grounds that the removal of the existing hedge surrounding the square would adversely affect the privacy of residents using the square, that the railings would have an adverse impact upon the appearance of the square, that the cost of maintenance of the proposed railings would be borne by the residents and that the existing fence needs only low maintenance, that the traditional design of the railings is inappropriate in a square with generally modern buildings, and that the existing entrance gate is attractive and the new one is not a suitable replacement.

COUNCILLOR COX

Copy of email to local resident noting the strength of feeling of residents with regards to the scheme.

COUNCILLOR ACTON

Copy of email to local resident noting the concerns of local residents, and that further information is anticipated prior to the application being presented to the Planning Applications Committee.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 163; Total No. of Replies: 12.

Twelve letters of objection on the following grounds:

- Loss of the hedge on grounds of the visual impact of its removal on the Square.
- The railings would encase the free flowing nature of the hedge.
- Loss of the hedge - impact upon its provision of natural habitat.
- Loss of the hedge on grounds of the loss of privacy.
- Loss of the hedge on grounds of its current role in protection from noise and wind.
- Concern expressed about the cost of the works.
- Use of traditional railings in the context of a square with modern buildings.
- Reference made to the proximity of the open space in Hyde Park in the context of concern at the opening up of the Square.
- Concern about the lack of consultation with local residents.
- Concern expressed about the generic nature of the application submissions to Sussex, Gloucester and Hyde Park Squares.
- Concern that the works will reduce the security of the gardens and increase the fear of security.
- View expressed commenting favourably on the appearance of the existing railings and gates, noting that they are low maintenance and secure.

ADVERTISEMENT/SITE NOTICE: Yes

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL):-**WARD COUNCILLORS**

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 134; Total No. of Replies: 2.

Two letters of objection on the following grounds:

- Concern expressed about the inappropriateness of traditional railings in the context of a square where over two thirds of the buildings facing on to it have been redeveloped since the railings were removed.
- Concern expressed that the replacement railings are 1.5m high and do not replicate the original 1.2m high railings, and that the height will isolate the square.

- Concern expressed that the 1.5m high railings proposed are lower in height than the existing railings and will therefore compromise the security of the square, where there is direct access to some houses on the east/west side of the square.

ADVERTISEMENT/SITE NOTICE: Yes

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL):-

WARD COUNCILLORS

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 314; Total No. of Replies: 1.

One email received concerning potential removal of Camelia trees.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Sites

Sussex Square, Gloucester Square and Hyde Park Square are all within the Bayswater Conservation Area, and the central landscaped areas to all three squares are listed in the London Squares Preservation Act of 1931. At some point in the mid 20th century the original boundary railings which formerly surrounded these three landscaped garden areas were removed and replaced principally by the existing chain link fencing.

4.2 Planning History

There is no planning history relevant to these applications.

5. THE PROPOSAL

Three separate applications for planning permission (one to each square) have been submitted proposing to remove the existing fencing, railings and gates around the central landscaped areas to Sussex Square, Gloucester Square and Hyde Park Square, and to replace them with new cast iron railings and gates. The existing hedge surrounding the garden square at Hyde Park Square is shown on the submitted drawings as being proposed for removal, with the drawings showing the existing hedges to Sussex Square and Gloucester Square principally intended for retention.

The application at Sussex Square has attracted 12 letters of objection from local residents, and also representations from Councillors Floru, Cox and Acton. The application at Gloucester Square has attracted two objections from local residents. The application at Hyde Park Square has attracted one objection.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The proposals raise no land use implications.

6.2 Townscape and Design

When Sussex Square, Hyde Park Square and Gloucester Square were originally laid out in the 19th century, the landscaped garden areas to the centre of each of them would have been surrounded by cast iron railings in similar design to those railings fronting the front lightwells of the 19th century terraced housing originally built around the edge of each square. These original railings to the landscaped garden areas were removed in the mid 20th century and replaced principally with chain link fencing and gates of poor design and appearance, though some limited amount of railings and metal gates of no particular design quality have also been installed to certain locations.

These applications seek the removal of the existing boundary treatment to each square and their replacement with new gates and railings on the existing boundary line formed in black painted cast iron, and to a design which will closely follow the design of the remaining original front lightwell railings to the Victorian terraced houses in the general vicinity. The plinth to the railings will be formed in reconstituted Portland stone, and a sample of this will be secured by condition to ensure its appropriate colour and finish. The railings are shown as being individually set into the plinths in traditional manner, and above the top rail are a regularly spaced pattern of decorative ball finials with the majority of finials between these having spearhead finials, which again follows the pattern of original 19th century railings found in the area. The railings from the plinth to the top of the finials are 1.5m in height, a height the applicant states derives from a desire by local residents and the garden committee that the railings be this height for security purposes.

Officers consider that the existing boundary treatments to each of the squares is of poor quality and that a reintroduction of traditionally designed railings on a reconstituted stone plinth, with traditionally detailed entrance gates, will represent a significant improvement in the appearance of the boundary treatment to the landscaped garden grounds and will restore an important element of the 19th century character of the squares which has been lost since the removal of the original railings in the mid 20th century. The 1.5m height of the railing is not markedly higher than original examples to surrounding 19th century terraced properties, and the plinth is as low as the landscaping levels immediately behind would allow. The appropriate detailing of plinth, railings and finials will be secured by conditions.

It is noted that a number of residents in Sussex Square and also in Gloucester Square have expressed concern about the introduction of traditionally designed railings of 19th century appearance on grounds that the majority of the buildings around these Squares are no longer the original 19th century terraced houses. Whilst noting this concern, the railings being proposed for installation are historically appropriate to the landscaped garden grounds, and are considered a significant improvement upon the existing poor quality fencing and gates. To Sussex Square, it is also noted that the buildings forming the terrace along the south side of Sussex Square are Grade II listed 19th century properties (though admittedly modernised to their Sussex Square elevation) and that the buildings on the east and west sides of the Square are 20th century in origin though nonetheless drawing some inspiration in their design from traditional buildings. To Gloucester Square the original 19th century buildings remain along the south side of the Square, and also to the east and west ends on the north side. To Hyde Park Square original buildings remain to north and south sides of the Square. In these circumstances, it is not considered that a reason for refusal could be sustained on this ground, and the traditional design proposed is considered appropriate.

To accommodate circumstances where significant tree roots project across the line of the new plinth and railings, the applicant has shown a detail where the plinth is omitted to allow the tree roots to continue unbroken, with that section of railings above supported neatly by rising from a bottom bar. This is a standard approach to such situations for railings, and is considered neatly detailed.

The new railings and gates proposed to each square are therefore considered acceptable and the proposals are in line with Policies DES 1, 7, 9 and 10 in our UDP, and Policy S25 in our Westminster City Plan.

6.3 Residential Amenity

Concerns have been raised by a number of objectors to the proposals at Sussex Square about the loss of privacy which would be caused by removal of the existing hedging which surrounds the gardens to that Square. The applicant states that to Sussex Square, aside from a small area to the east side of the Square, all the existing vegetation and overhanging branches of shrubs is intended to be held back to provide working space for the installation of railings, and also retained in this manner to Gloucester Square. The hedge to Hyde Park Square, however, is proposed to be removed, with replacement planting to be secured by condition. Though noting that the removal of hedging would lessen the privacy currently enjoyed by users of the Square, the garden square is nonetheless an accessible recreation space and not private accommodation, and it is not considered that permission could reasonably be refused on grounds of the greater visibility of persons using the Square from the public realm surrounding.

Several objections have also been received on grounds of a perceived increase in noise and wind to users of the square if hedges are removed, and whilst it is noted that to Hyde Park Square a removal of the existing hedge could increase the impact of such issues, it is also noted that the square is a large and open recreation area and it is not considered that such issues raised by the objectors are sufficient to warrant the refusal of an application for planning permission.

6.4 Transportation /Parking/Access

To each Square there are residents parking bays adjacent to the central gardens along much of each of their perimeters. Through the course of the application process, officers had asked the applicant to consider options for setting the plinth and railings back marginally further to allow for a slightly wider area for doors on the garden side of cars to open. In the application submission, the drawings show a distance of 0.403m between the kerb edge and the railings to each square. Though a modest gap, it is recognised that this distance is approximately the distance between the kerb edge and the existing fencing, with the existing vegetation projecting through the fencing in many areas and extending out closer to the kerb edge. It is also recognised that the further back any plinth and railings are set the more problematic the issues become of the potential for impact on the trees within the gardens. In these circumstances, it is not considered that the new railings would have an unacceptable impact upon the usability of car parking provision within each of these squares.

6.5 Equalities and Diversities

No change.

6.6 Economic Considerations

Any economic benefits generated by the development are welcomed.

6.7 Other Westminster Policy Considerations

There are no other policy considerations.

6.8 London Plan

These applications raise no strategic issues.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. The City Council has recently published the NPPF Revisions to the Core Strategy which was submitted to the Secretary of State on 25 January 2013. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

Not relevant in the determination of these applications.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

Across the three squares there are a significant number of trees in close proximity to the line of the railings, and also a significant amount of lower level vegetation and hedging. All the existing trees are to be retained, and subject to conditions, the Arboricultural Manager is content with the proposals and thus the objection on grounds of the implications for trees is not considered sustainable.

A number of objections have been received with regards to the application for railings at Sussex Square expressing concern about the implications of the loss of the hedge/vegetation located around the square just to the inside of the existing fencing. The vegetation around the outsides of Sussex Square and Gloucester Square, however, is principally intended to be retained, and the applicant's arboricultural consultants advise that during works this vegetation would be held back where reasonably practicable to allow for working space for the installation of the railings and to maintain the natural shape of shrubs or bushes.

To Hyde Park Square, however, the entire Yew hedge around the boundary is proposed to be removed, as the existing and proposed fences are located in the centre of the hedge and it does not appear practically possible to undertake the proposed works without removing it. Although this is regrettable, it is considered justified to allow for the replacement of the railings. Furthermore, the Arboricultural Manager is content that it should be relatively

straightforward to replace the hedge following the works, and a condition is attached to secure a package of landscaping proposals to allow for suitable replacement planting once the works are complete. Subject to this, it is not considered that the concerns expressed are sustainable on this ground.

6.12 Other Matters

Concern has been raised about a perceived increased security risk to the squares given the height of the railings. The railings themselves are 1.5m high from the base of the shaft to the top of the finials, with the plinth being an additional 250mm high to Gloucester Square and Hyde Park Square, and a height closer to 450mm to Sussex Square to accommodate the higher height of garden grounds behind the boundary to that square. Though noting the concerns of residents on security grounds, this height is considered appropriate in terms of securing the boundary to the Squares.

Several objectors and also Councillor Floru have expressed concern about the cost of the railings to surrounding residents, and that the existing fencing is low maintenance, and that the maintenance of the railings will come at a cost to local residents. The cost of the new railings and maintenance costs, however, are private matters between the residents and the applicant, and it is not considered that permission could be withheld on grounds of concerns about the costs of the works.

One objector has made reference to the proximity of Hyde Park which already gives considerable open amenity space, and in this context expresses concern about an opening up of Sussex Square. Though noting the proximity of Hyde Park, the application must be considered on its merits, and in the case of Sussex Square the applicant intends to seek to retain the existing vegetation surrounding the square through the course of the works.

Concern has also been raised about a lack of consultation between the applicant and local residents regarding the works, however, this is considered a private matter and the City Council has carried out the normal consultation process on the planning applications to advise local residents of the application proposals.

Concern has also been expressed about a perceived generic nature between the three application submissions, however, given the similarities between the application proposals to the three squares then similarities between aspects of the proposals would be expected. The submissions are considered accurate in terms of their representation of the proposals to each square, and the concerns on this ground are not considered sustainable.

6.13 Conclusion

Overall therefore, the proposed works contained within each of the three applications are considered acceptable in design, trees and highways terms and all three applications are considered to accord with the relevant policies contained in the Westminster City Plan and the UDP.

BACKGROUND PAPERS

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL)

1. Application form
2. Emails from Councillor Floru dated 02.09.2015 and 03.09.2015.
3. Email from Councillor Cox dated 26.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.

4. Email from Councillor Acton dated 25.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.
5. Letter from Historic England dated 29.04.2015.
6. Memorandum from Arboricultural Manager dated 18.09.2015.
7. Email from occupier of 'Flat 13, Sussex Square' dated 31.08.2015.
8. Letter from occupiers of 27 Sussex Square dated 14.05.2015.
9. Email from occupier of 26 Stanhope Terrace dated 24.05.2015.
10. Email from occupier of 33 Stanhope Terrace dated 28.05.2015.
11. Letter from occupier of 48 Sussex Square dated 12.06.2015.
12. Email from occupier of 24 Stanhope Terrace dated 17.05.2015.
13. Email from occupier of 23 Stanhope Terrace dated 16.05.2015.
14. Letter from occupier of 15 Sussex Square dated 07.05.2015.
15. Email from occupier of 78 Sussex Square dated 13.05.2015.
16. Email from occupier of 40 Sussex Square dated 05.05.2015.
17. Email from occupier of 14 Sussex Square dated 05.05.2015.
18. Letter from occupier of 17 Sussex Square dated 06.05.2015.

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL)

1. Application form.
2. Letter from Historic England dated 29.04.2015.
3. Memorandum from Arboricultural Manager dated 18.09.2015.
4. Letter from Chelwood House Freehold Company dated 10.05.2015.
5. Email from occupier of 44 Gloucester Square dated 19.06.2015.

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL)

1. Application form.
2. Letter from Historic England dated 29 April 2015.
3. Memorandum from Arboricultural Manager dated 5 November 2015.
4. Email from occupier of north side of Square.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARAH WHITNALL ON 020 7641 2929 OR BY E-MAIL – swhitnall@westminster.gov.uk

DRAFT DECISION LETTER

Address: Sussex Square, London, W2

Proposal: Three separate applications proposing - removal of existing fence, gates and railings and installation of replacement railings and gates and associated works to boundary of communal garden (to Sussex Square, Gloucester Square and Hyde Park Square respectively).

Plan Nos: D2292 L220, D2292 L.003, D2292 L.221B, D2292 L.222B, G-Prelim-02, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, tf1008/MS/300B, D2292 L.431, D2292 L.103B, D2292 L.430B, Planning Design and Access Statement including Heritage Statement, email from Knight Frank dated 12.05.15, 1x example photo of railings accommodating a tree

Case Officer: Alistair Taylor

Direct Tel. No. 020 7641 2979

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no tf1008/MS/300 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 8 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil within the Square (garden). If you need to use the Square for storage or welfare you must apply to us for approval of the details of the ways in which you will protect the trees in the Square.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater

Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to the sample. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of a sample of a two railing shafts linked by a top bar including one railing with a ball finial and one with a spearhead finial - showing the thickness of railing shaft, the detailing of finials and the spacing of the railing shafts.

You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 12 Notwithstanding the details shown on 'Elevation 1' of drawing D2292 L430C, the railings shall run continuously unless interrupted by the incorporation of gates

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)
- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (I09AC)

DRAFT DECISION LETTER

Address: Gloucester Square, London, W2

Proposal: Removal of existing railings and installation of replacement railings and gates and associated works to boundary of communal garden.

Plan Nos: D2292 L,200, D2292 L.001, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, G-Prelim-01, G-Prelim-01 (incorporating detail of railings/plinth accommodating tree), G-Prelim-02, D2292 L.410E, D2292 L.411E, D2292 L.201B, D2292 L.202B, D2292 L.203B, D2292 L.413, D2292 L.412, D2292 L.101B, tf1008/MS/301B, Planning Design and Access Statement including Heritage Assessment dated 08.04.15, email from Knight Frank dated 12.05.2015, 1x example photograph of railings accommodating a tree

Case Officer: Alistair Taylor **Direct Tel. No.** 020 7641 2979

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no tf1008/MS/301 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 8 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil within the Square (garden). If you need to use the Square for storage or welfare you must apply to us for approval of the details of the ways in which you will protect the trees in the Square.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to the sample. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of a sample of a two railing shafts linked by a top bar including one railing with a ball finial and one with a spearhead finial - showing the thickness of railing shaft, the detailing of finials and the spacing of the railing shafts.

You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)

- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (I09AC)

DRAFT DECISION LETTER

- Address:** Hyde Park Square, London, W2
- Proposal:** Removal of existing railings and installation of replacement railings and gates and associated works to boundary of communal garden.
- Plan Nos:** D2292 L.002, D2292 L.211B, D2292 L.212B, G-Prelim-02, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, G-Prelim-01, G-Prelim-01 (incorporating detail of railings/plinth accommodating tree), tf1008/MS/302B, D2292 L.210, D2292 L.420C, D2292 L.421E, D2292 L.422C, D2292 L.425, D2292 L.424, D2292 L.423, D2292 L.102B, Planning Design and Access Statement including Heritage Assessment, email from Knight Frank dated 12.05.15, 1x example photo of railings accommodating a tree

Case Officer: Alistair Taylor

Direct Tel. No. 020 7641 2979

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no ff1008/MS/302 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 8 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil within the Square (garden). If you need to use the Square for storage or welfare you must apply to us for approval of the details of the ways in which you will protect the trees in the Square.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to the sample. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of a sample of a two railing shafts linked by a top bar including one railing with a ball finial and one with a spearhead finial - showing the thickness of railing shaft, the detailing of finials and the spacing of the railing shafts.

You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 12 You must apply to us for approval of detailed drawings of a soft landscaping scheme which includes the number, size, species and position of trees and shrubs in any areas where existing shrubs/hedging adjacent to the line of the new railings is to be removed. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within 1 year of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within 3 years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development and its contribution to biodiversity and the local environment, as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17 and DES 1 (A) of our Unitary Development Plan that we adopted in January 2007. (R30AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have

made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)

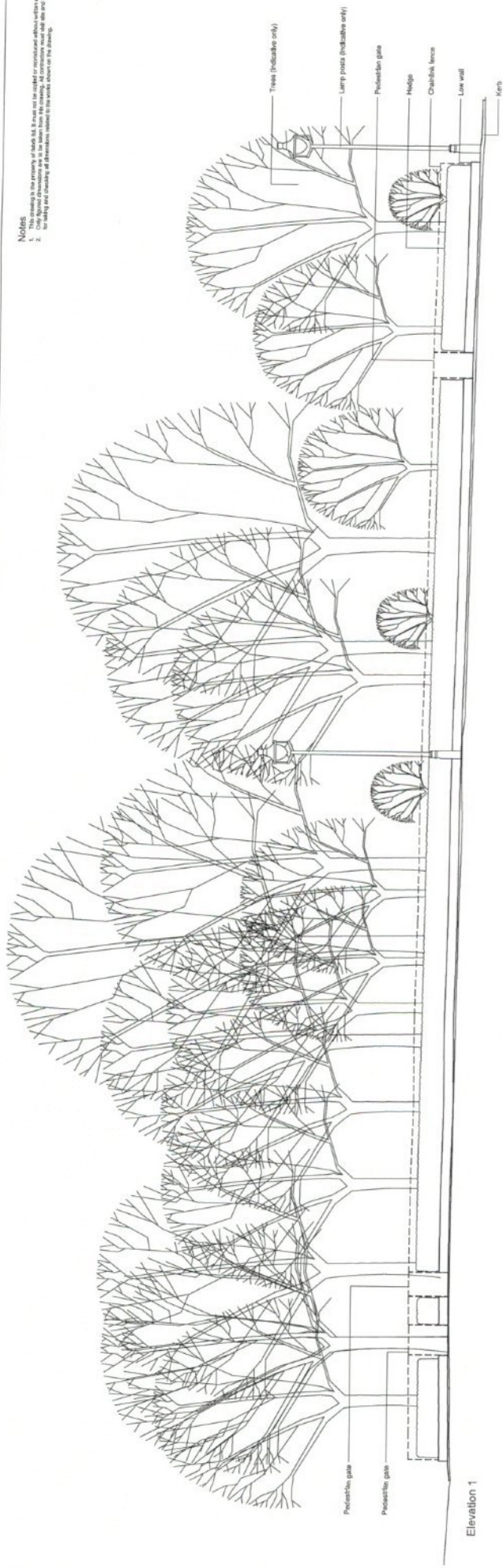
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)

- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (I09AC)

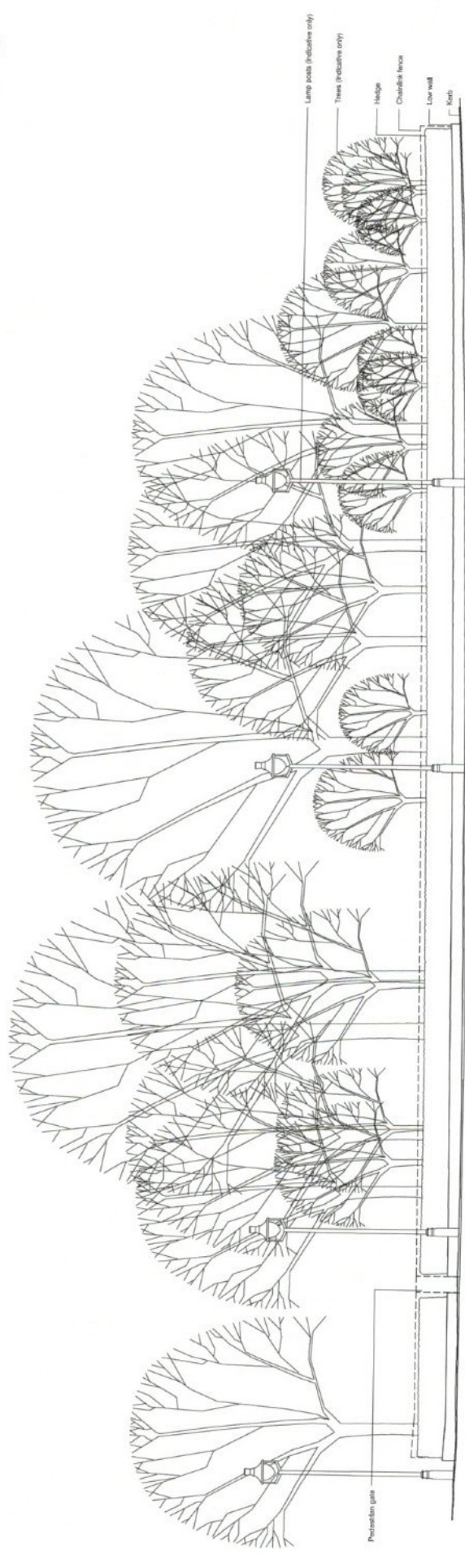
APPLICATION 1

Notes

1. This drawing is the property of the client. It must not be copied or reproduced without written consent.
2. The drawings are for information only. They are not to be used for construction. The client must ensure that all dimensions and materials are as shown and that all work is carried out in accordance with the drawings.



Elevation 1



Elevation 2



Client	AW
Date	Feb '15
Revision	
Scale	1:100 @ A1
Drawing No.	D2292 L431
Project	Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Drawing	Sussex Square: Existing Elevations
Author	
No. Date Reason	
Revisions	
•	INDICATIVE ELEVATIONS - CONCEPT
•	GLoucester Square - CG Mass 05-1503.rvt

fabrik

The Fabrik
Landscape Architects
Landscape Architecture
and Urban Design

T: 0115 825 1715
E: info@thefabrik.com
W: www.thefabrik.com

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing: Sussex Square: Existing Elevations

Author: [Blank]

No. Date Reason

Revisions

• INDICATIVE ELEVATIONS - CONCEPT

• GLoucester Square - CG Mass 05-1503.rvt

Scale: 1:100 @ A1

Date: Feb '15

Revision:

Client: AW

Drawing No.: D2292 L431

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing: Sussex Square: Existing Elevations

Author:

Scale: 1:100 @ A1

Date: Feb '15

Revision:

Client: AW

Drawing No.: D2292 L431

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing: Sussex Square: Existing Elevations

Author:

Scale: 1:100 @ A1

Date: Feb '15

Revision:

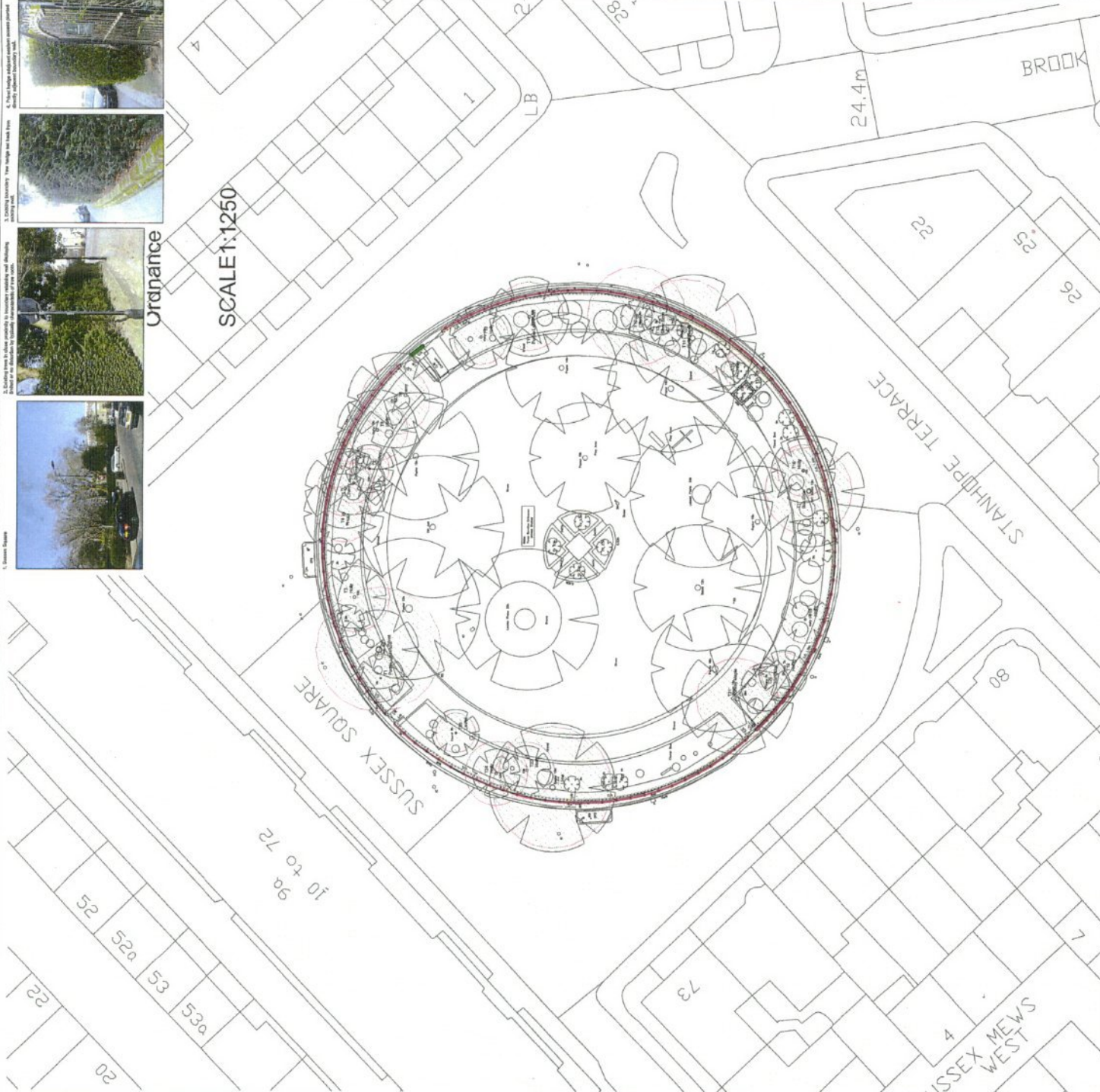
Client: AW

Drawing No.: D2292 L431

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing: Sussex Square: Existing Elevations

Author:



1. Green Space
2. Existing trees to be retained in situ
3. Existing trees to be removed
4. New trees to be planted
5. Existing trees to be retained in situ
6. New trees to be planted

7. Existing trees to be retained in situ
8. Existing trees to be removed
9. New trees to be planted
10. Existing trees to be retained in situ
11. New trees to be planted

12. Existing trees to be retained in situ
13. Existing trees to be removed
14. New trees to be planted
15. Existing trees to be retained in situ
16. New trees to be planted

17. Existing trees to be retained in situ
18. Existing trees to be removed
19. New trees to be planted
20. Existing trees to be retained in situ
21. New trees to be planted

22. Existing trees to be retained in situ
23. Existing trees to be removed
24. New trees to be planted
25. Existing trees to be retained in situ
26. New trees to be planted

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

Work stage and scope of arboricultural methodology

The works proposed in this AMS are divided into three main stages:

- Stage 1: Pre-implementation works** - This stage involves the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.
- Stage 2: Implementation works** - This stage involves the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.
- Stage 3: Post-implementation works** - This stage involves the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

Arboricultural Method Statement

This document provides a detailed description of the methods to be used for the arboricultural works proposed in the Sussex Square project. It is intended to be read in conjunction with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The works proposed include the removal of existing trees, the retention of existing trees, and the planting of new trees. The works will be carried out in accordance with the Arboricultural Method Statement (AMS) and the Arboricultural Method Statement (AMS) for the Sussex Square project.

The following table provides a summary of the works proposed:

Work Item	Location	Quantity	Notes
Removal of existing trees	Various locations	10	See AMS for details
Retention of existing trees	Various locations	15	See AMS for details
Planting of new trees	Various locations	20	See AMS for details

tree:fabrik
 18 Linton Street
 Alton, Hampshire
 GU34 2JF
 T: 01420 832200
 F: 01420 842420
 E: info@treefabrik.com



Project
 SUSSEX, GLOUCESTER & HYDE PARK SQUARES
 LONDON

Drawing
 ARBORICULTURAL METHOD STATEMENT
 SUSSEX SQUARE

Scale
 1:250
 Drawing sheet size - A1

Date
 MARCH '15
 AR

Drawing No.
 1008/MS/300
 Revision
 B

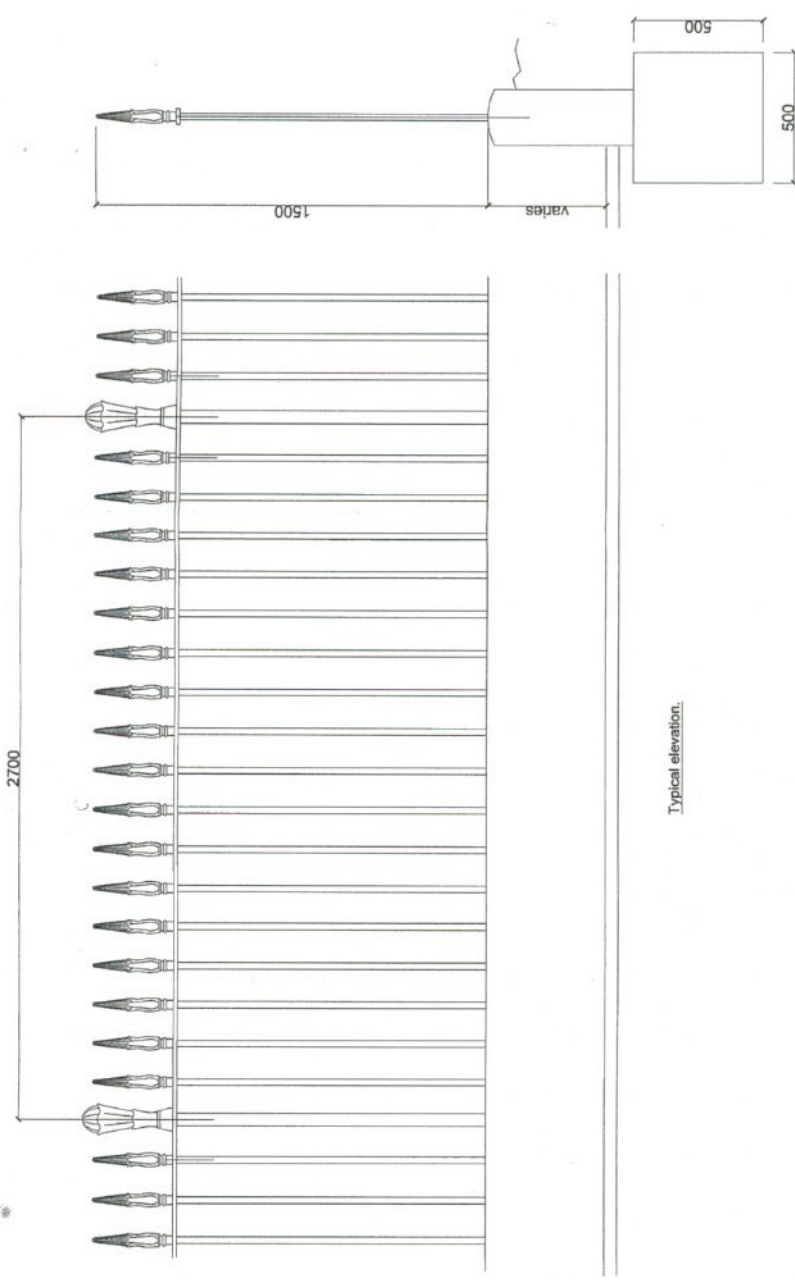
Legend

<input type="checkbox"/> Proposed	<input type="checkbox"/> Noted for Change/Amendment
<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Noted for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

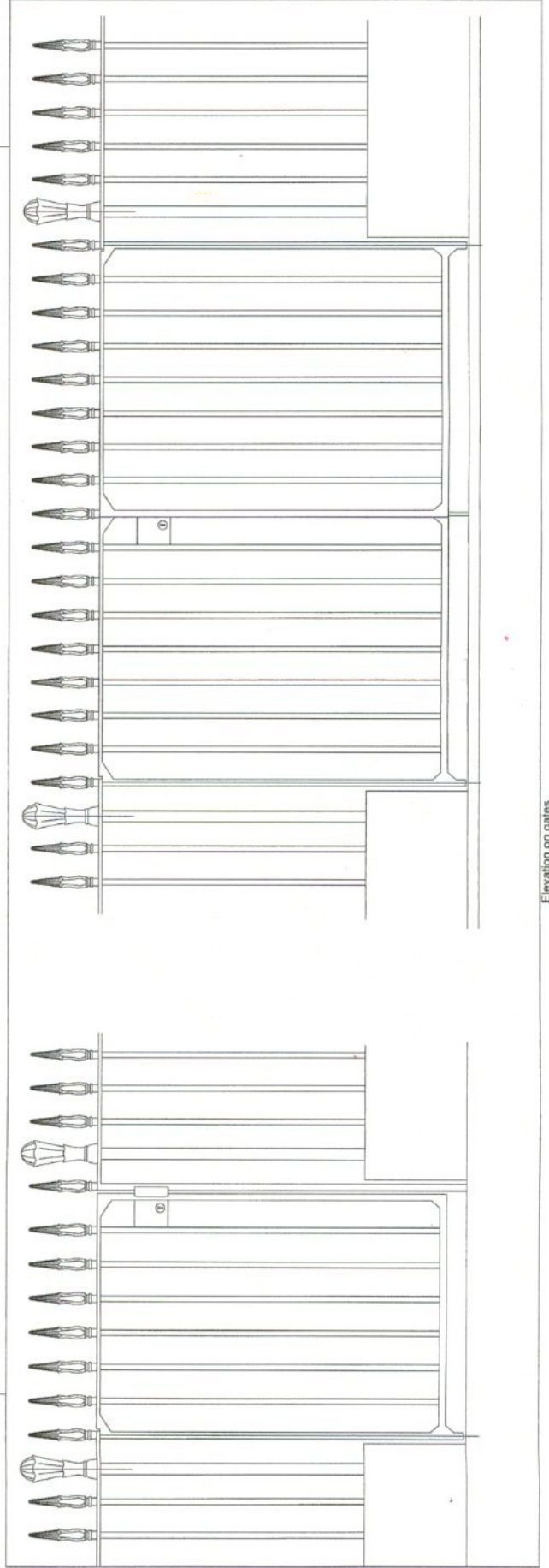
SCALE
 0 5 10 15 20 25
 1:250

General Notes

- The drawing must not be scaled.
- Specification:
 25 dia bars @ 150 pc
 on posts
 80 x 80 mm top rail
 Forged railing heads to match existing.
 Bars leaded in to stone coping.



Typical elevation.



Elevation on gates.

Revise	Date	Description
C	08.05.15	Single gate added
B	07.04.15	Height reduced
A	23.02.15	Wall changed to stone

REVISIONS

METALCRAFT
 TOTTENHAM LIMITED
 145-147, BRISTOL ROAD, TOTTENHAM, NORTH YORKSHIRE, LE19 1BQ
 01892 862000

CUSTOMER: The Church Commissioners
 PROJECT: Sussex Sq
 DRAWING TITLE: Typical railings and gates

DRAWN BY	CHECKED BY	DATE	SCALE
PW		14/02/15	1:1

PROJECT No. 108086 No. [E] - Prelim-02

© Metalcraft Tottonham Ltd
 This drawing and any associated information appearing on it is the property of Metalcraft Tottonham Ltd. No reproduction, use or disclosure to any third party is permitted unless expressly authorized by Metalcraft Tottonham Ltd.

Do not scale drawings.

General Notes
 Component Characteristics
 Tolerances of dimension and shape
 EN 1090-2 Tolerance class 1
 Weldability
 EN 10025-2, S275 / S355
 Fracture toughness / Impact resistance
 EN 10025-2, S275 (30°C)
 S355 (30°C)
 EN 10025-2, S275 / S355
 Stainless 304 / 316

Load Bearing Capacity
 Designed to BS5950 / EN 1993
Steel Specification
 Non Structural Steelwork
 Specification for Building Construction
 5th Edition CE Marking

Welds
 All welds in conformity to MTI Welding Procedure Specifications (WPS)
Steel Grades
 All UC / UB / BEC / RSA, S355-JR
 All SHS / RHS / CHS, S355-J2
 All Plates - S275 - UNO



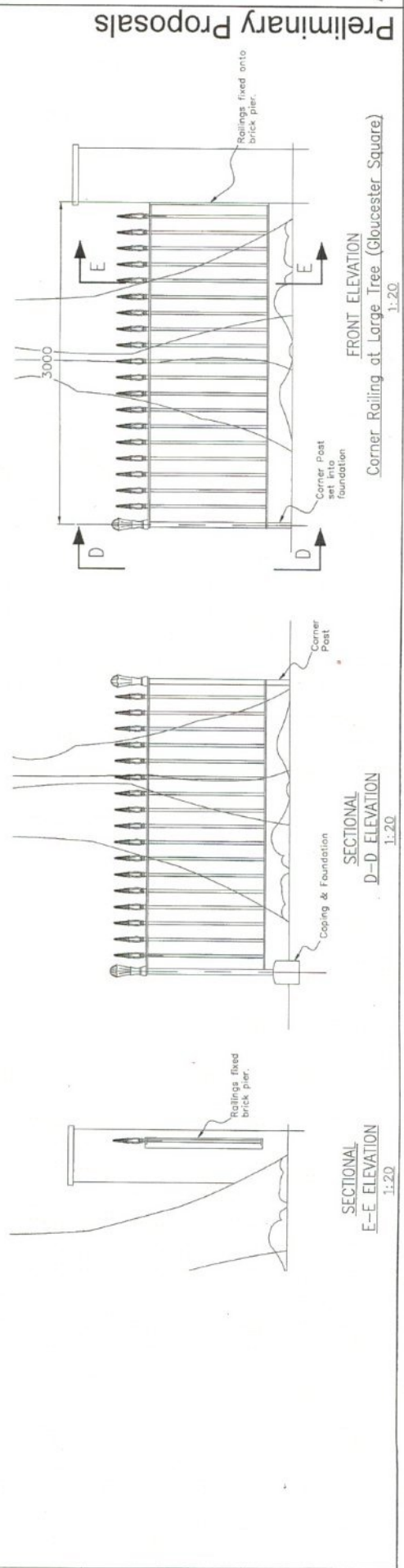
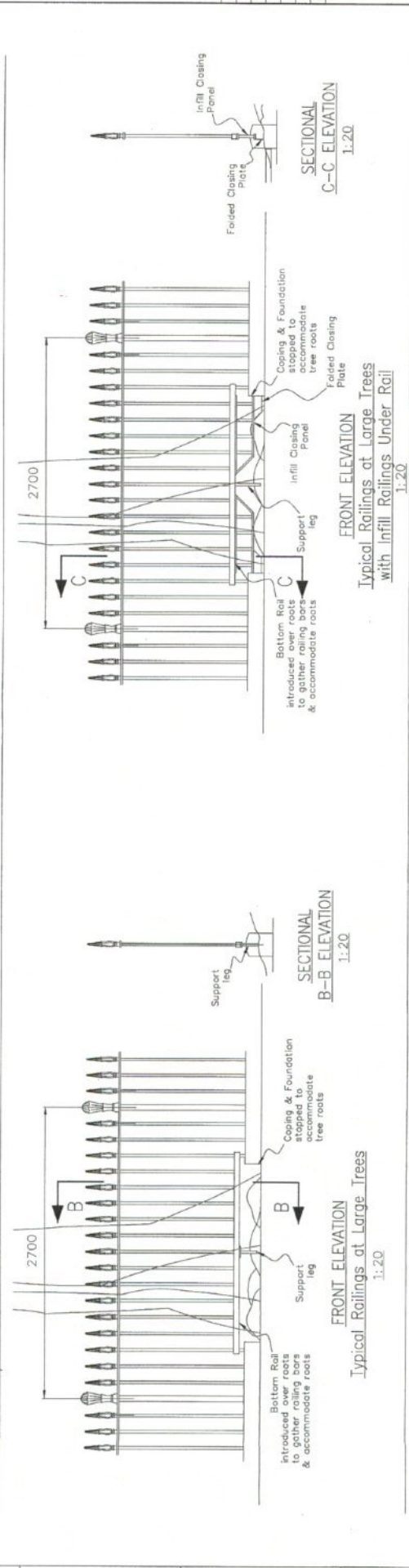
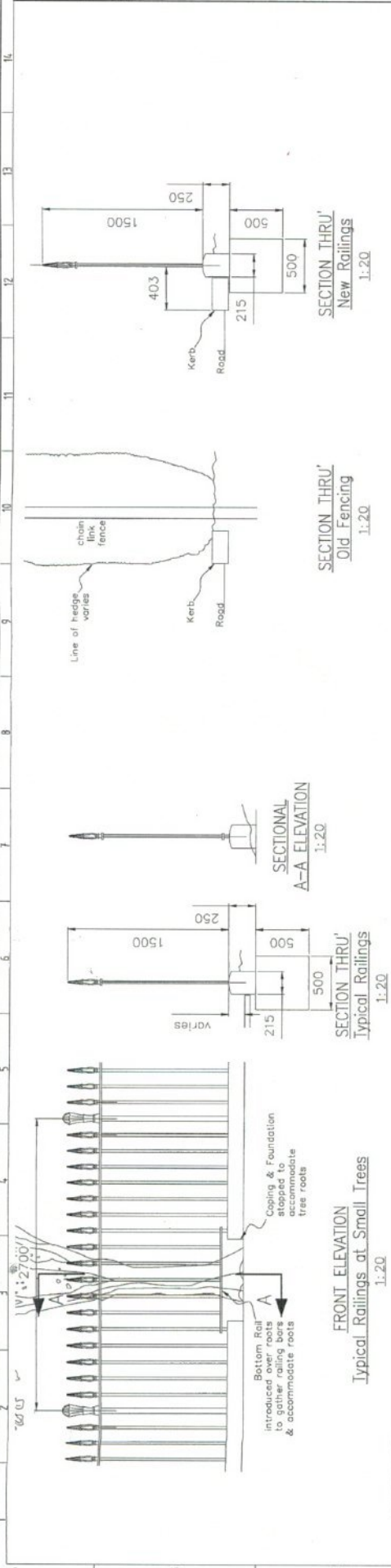
Welded Structural Components
 Execution Class 2 BS EN 1090
 Hyde Park Sq, Sussex Sq & Gloucester Sq.

THE CHURCH COMMISSIONERS FOR ENGLAND

Project Number:	5386
Drawing Code:	21-08-15
Issue No.:	SEE END
Checked By:	JMS
Drawn By:	NOT APPROVED
Scale:	AS SHOWN
Drawing Title:	

RAILINGS AT TREE LOCATIONS
 GA

METALCRAFT
 Tottonham Limited
 6-40 Dunford Street
 Seven Sisters Road
 London N15 8NQ
 Tel: 020 880 714
 Fax: 020 880 228
 E-mail: sales@metalcraft.co.uk



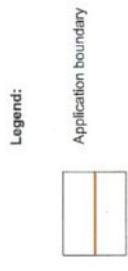
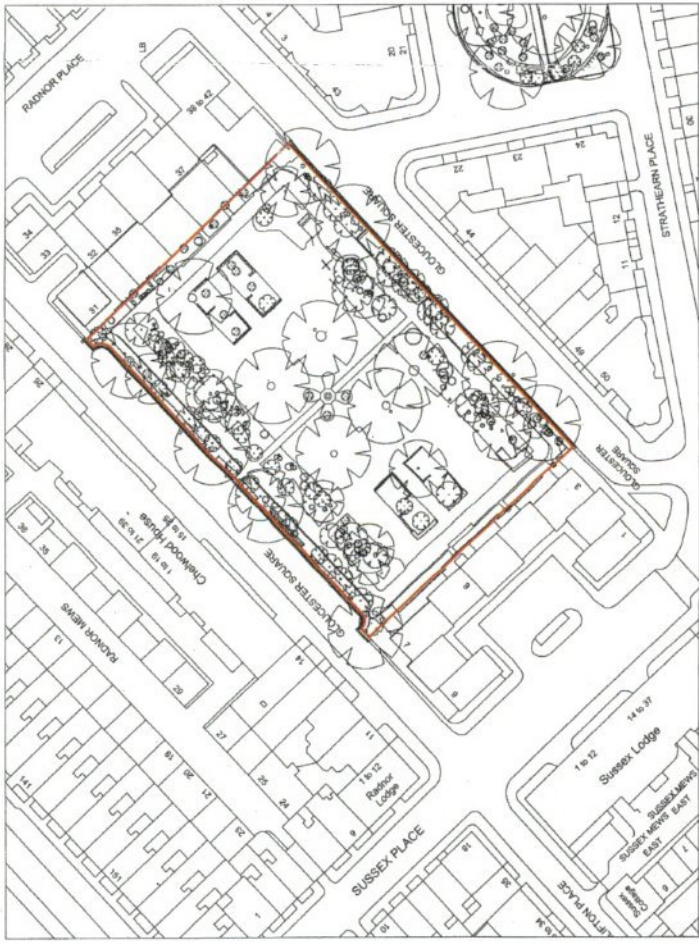
Preliminary Proposals

FRONT ELEVATION
 Corner Railing at Large Tree (Gloucester Square)
 1:20

SECTION D-D ELEVATION
 1:20

SECTION E-E ELEVATION
 1:20

APPLICATION 2



CASE COPY
 T.P.
 ADDRESS



Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Gloucester Square: Location Plan

Notes:
 1. This drawing is the property of Fabrik Ltd. It must not be copied or reproduced without written consent.
 2. Only signed drawings are to be used for the planning of developments. Fabrik Ltd does not accept responsibility for making or checking of developments related to the work shown on this drawing.

Scale: 1:1,250 @ A3
Date: Mar '15
Drawn: A.W.
Number:

Checklist:
 Planning
 Issued for Planning Approval
 Issued for Construction
 Issued for Design/Information
 Issued for Tender
 All Full

Copyright: Fabrik Ltd ©
 Drawing number: 03
 1: 014 543 7172
 2: www.fabrik.com
 3: www.fabrik.com

Notes

1. The drawing is the property of Fabrik Ltd. It must not be copied or reproduced without written consent.
2. Any third party drawings are to be taken from this drawing. All dimensions must self file and be responsible for any and all errors and omissions relating to the work shown on the drawing.

Gloucester Square

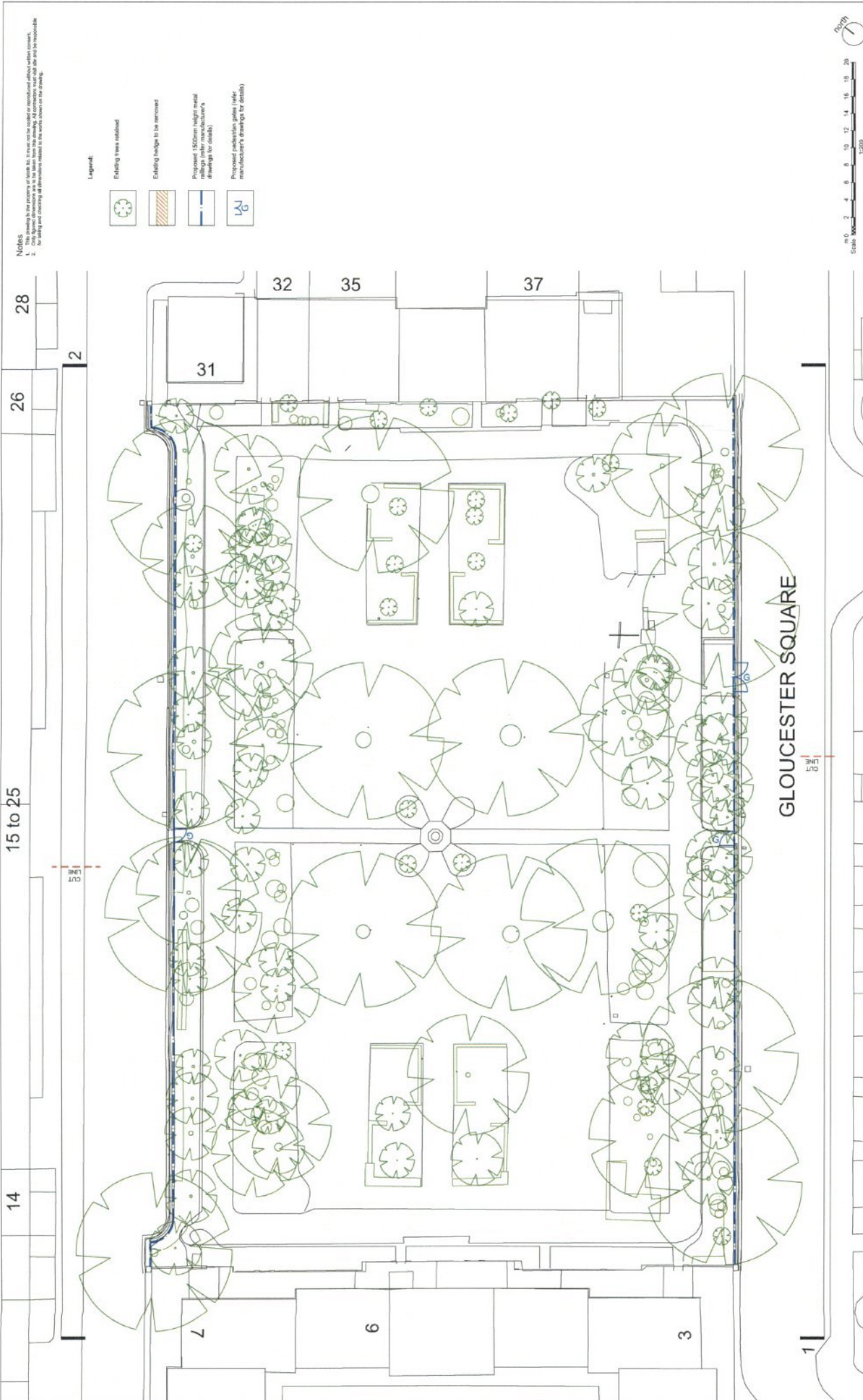
D2292 L.201

D2292 L.202

D2292 L.203

Gloucester Square





Notes

1. This drawing is for information only. It is not to be used for construction without written consent.
2. The client is responsible for obtaining all necessary permissions and consents for the works shown on the plans.

- Legend:**
- Existing trees retained
 - Existing hedge to be removed
 - Proposed 1500mm height metal railings (refer manufacturer's drawings for details)
 - Proposed pedestrian gates (refer manufacturer's drawings for details)

Scale: 1:200 @ A1
 Date: Jan '15
 Drawing No: D2292 L.101
 Client: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Gloucester Square: Railings Plan
 Author: AW
 Designer: AW
 Revision: B

Scale: 1:200
 0 2 4 6 8 10 12 14 16 18 20
 m

Copyright Reserved ©

fabrik

11 The Quadrant
 Marble Hill
 Gloucester
 GL4 2JF

T: 01452 364177
 F: 01452 364178
 W: www.fabrik.com

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Gloucester Square: Railings Plan
 Author: AW
 Designer: AW

Revisions: B

Scale: 1:200 @ A1
 Date: Jan '15
 Drawing No: D2292 L.101

Scale: 1:200
 0 2 4 6 8 10 12 14 16 18 20
 m

Copyright Reserved ©

Notes

1. The accuracy of each site is not to be used for construction purposes without the client's consent.
2. Only the dimensions are to be taken from this drawing. All construction must be in accordance with the notes and dimensions stated in the notes above on the drawing.



Proposed pedestrian gates (refer manufacturer's drawings for details)

Existing lamp posts retained

Existing trees retained (indicative only)

Existing hedge retained and trimmed back as necessary to allow for installation of gates
 Proposed 1000mm height metal railing (refer manufacturer's drawings for details)
 Reconstructed Portland stone pillars, overall height to match existing and to suit external ground levels

Pillar
 Existing lamp retained



Existing lamp posts retained

Existing trees retained (indicative only)

Existing hedge retained and trimmed back as necessary to allow for installation of railing
 Proposed 1000mm height metal railing (refer manufacturer's drawings for details)
 Reconstructed Portland stone pillars, overall height to match existing and to suit external ground levels
 Pillar
 Existing lamp retained

Elevation 2



fabrik
 The Firm
 Marina Street
 London
 SE1 2JW
 T: 0115 262 7172
 W: www.fabrik.co.uk

Project Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Drawing No. D252 L.411
Scale 1:100 @ A1
Date Jan '15
Drawn AW
Revision E

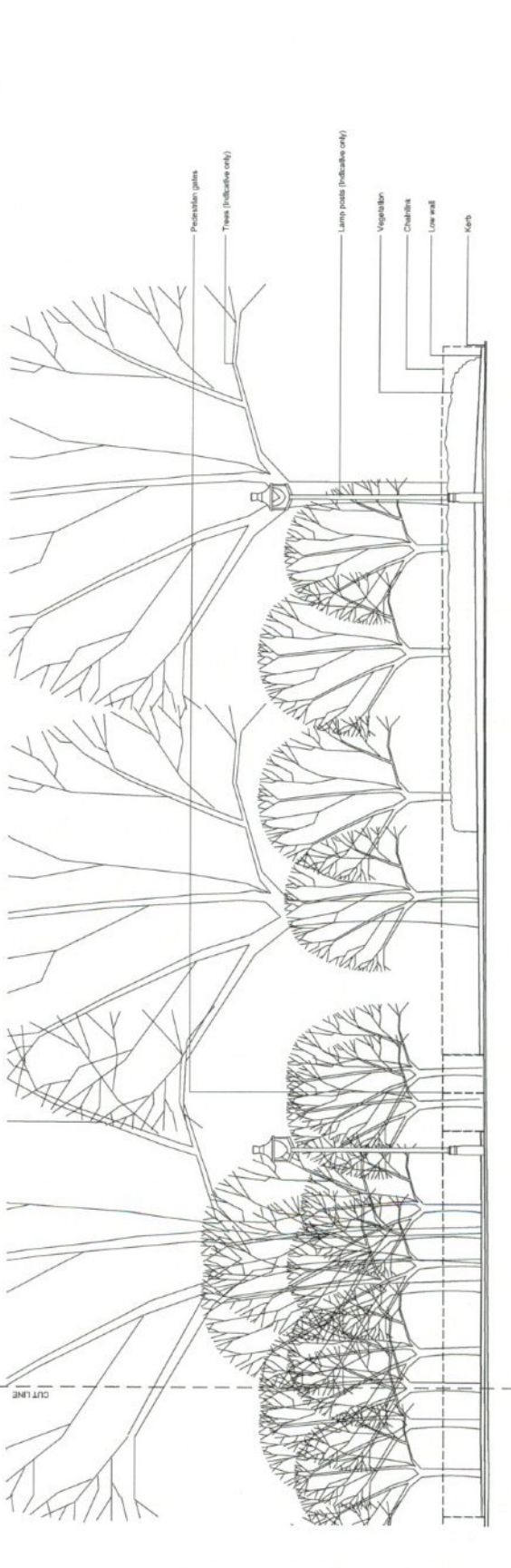
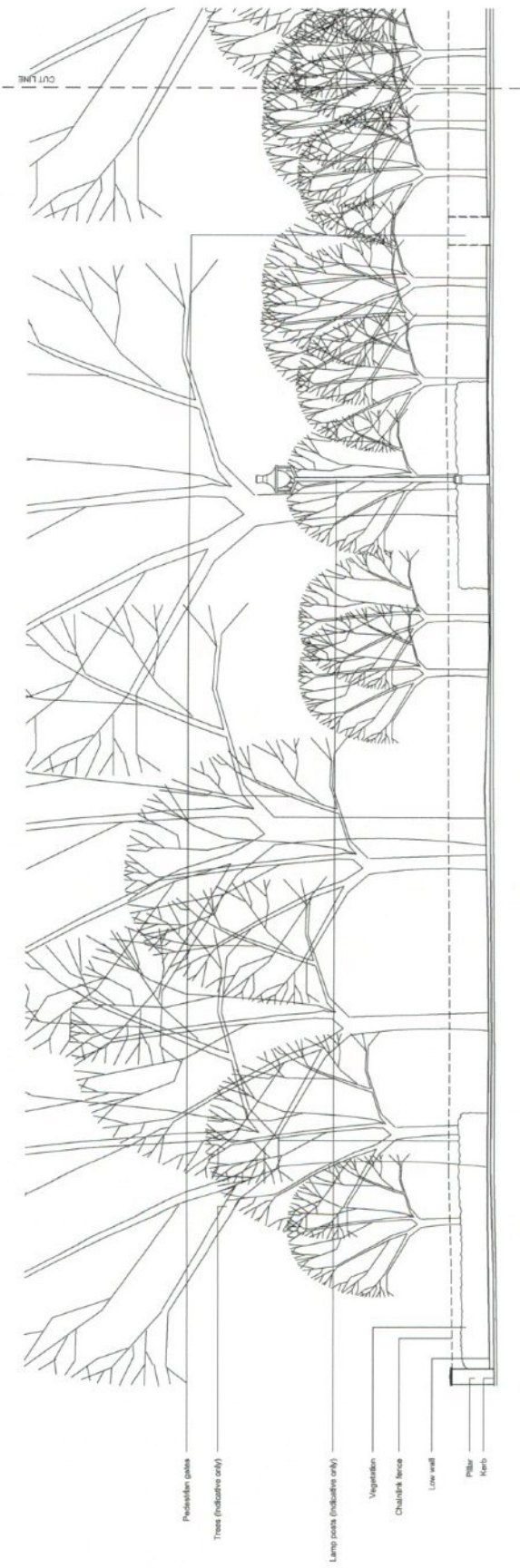
Checklist
 Proposed
 Approved for Planning Approval
 Approved for Highways/Highways
 Approved for Transport
 Approved for Construction
 Approved for All Built
 Drawing plotted on: A1
 Copyright reserved ©

Revisions

No.	Date	Reason
A	27.08.15	Initial drawings issued in accordance with manufacturer's proposals.
B	28.02.15	Amendments received.
C	18.02.15	Amendments received.
D	20.02.15	Amendments received.
E	18.02.15	Amendments received.
F	18.02.15	Amendments received.
G	18.02.15	Amendments received.
H	18.02.15	Amendments received.
I	18.02.15	Amendments received.
J	18.02.15	Amendments received.
K	18.02.15	Amendments received.
L	18.02.15	Amendments received.
M	18.02.15	Amendments received.
N	18.02.15	Amendments received.
O	18.02.15	Amendments received.
P	18.02.15	Amendments received.
Q	18.02.15	Amendments received.
R	18.02.15	Amendments received.
S	18.02.15	Amendments received.
T	18.02.15	Amendments received.
U	18.02.15	Amendments received.
V	18.02.15	Amendments received.
W	18.02.15	Amendments received.
X	18.02.15	Amendments received.
Y	18.02.15	Amendments received.
Z	18.02.15	Amendments received.

Notes

1. This drawing is the property of the client. It is to be used for the specific project and site only. It is not to be used for any other purpose without the written consent of the architect.
2. Any errors or omissions are the responsibility of the client. The architect is not responsible for any errors or omissions made in the course of the design.



Elevation 1

fabrik

7th Floor
 100 Broad Street
 Manchester, M2 3JE
 T: 0161 242 7122
 E: www@fabrik.com
 W: www.fabrik.com

Scale: 1:100 @ A1
 Date: Feb '15
 Drawing No.: D2292 L.412
 Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Gloucester Square: Existing Elevations
 Sheet 1

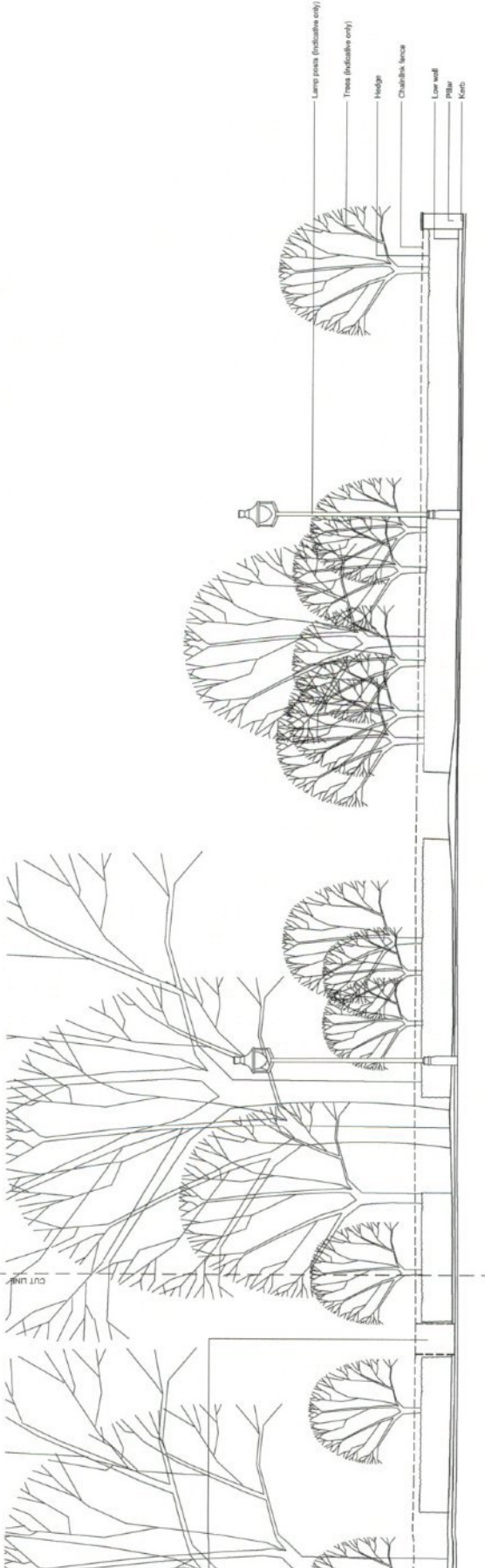
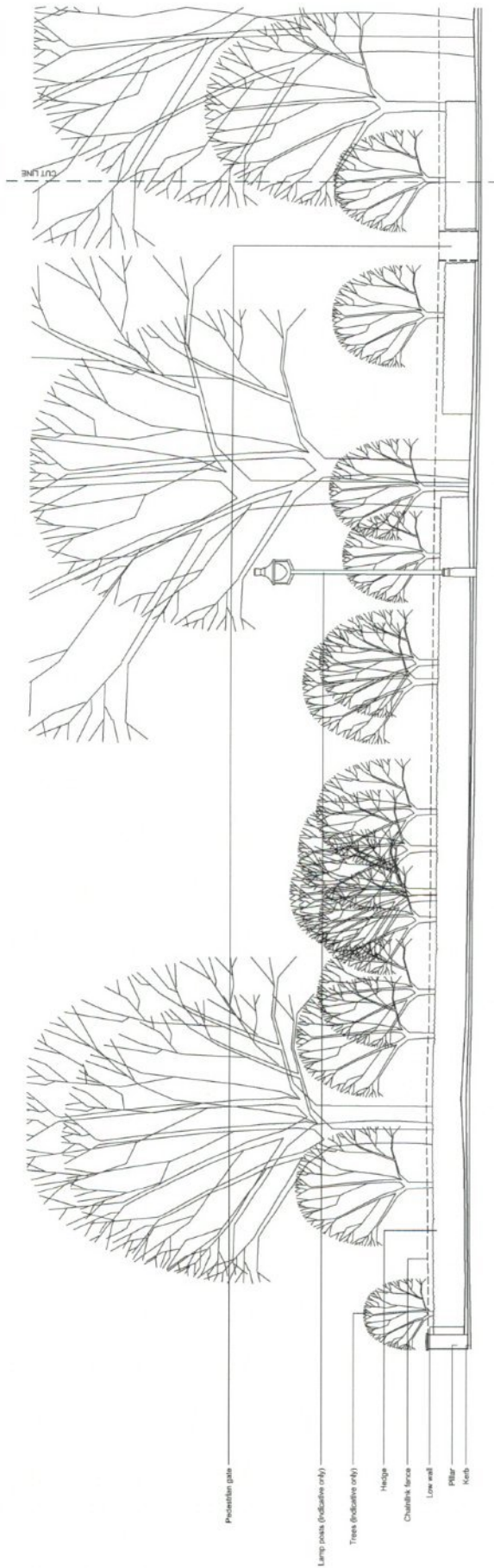
Scale: 1:100
 0 1 2 3 4 5 6 7 8 9 10
 Metres

Revision: AW

Preliminary
 Issued for Planning Approval
 Issued for Construction
 Based for Design/Construction
 Based for Tender
 At Risk
 Copyright Reserved ©

No.	Date	Revision
1	02/02/2015	Initial Design/Construction
2	02/02/2015	Final Design/Construction
3	02/02/2015	Final Design/Construction

Notes
 1. All drawings to be printed in black ink. Do not use red ink for marking out or other purposes.
 2. Only approved dimensions are to be used. All dimensions are to be given in millimetres unless otherwise stated.
 3. All drawings are to be drawn to the correct scale and to be consistent with the design.



Scale: 1:100
 0 1 2 3 4 5 6 7 8 9 10

Elevation 2

fabrik
 7th Floor
 100, Market Street
 Brighton, BN1 1AB
 T: 01323 242 1772
 E: www.fabrikgroup.com

Project: Sussex Square, Gloucester Square & Hyde Park Square, London
 Drawing No.: D2292 L.4.13
 Scale: 1:100 @ A1
 Date: Feb '15
 Class: AW
 Revision: 1

Client: The Church Commissioners
 Drawing: Gloucester Square: Existing Elevations
 Sheet: 2

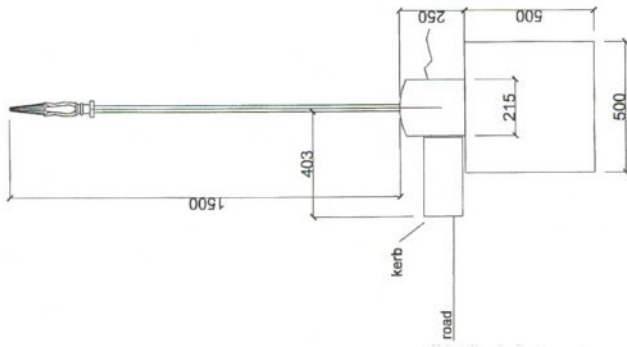
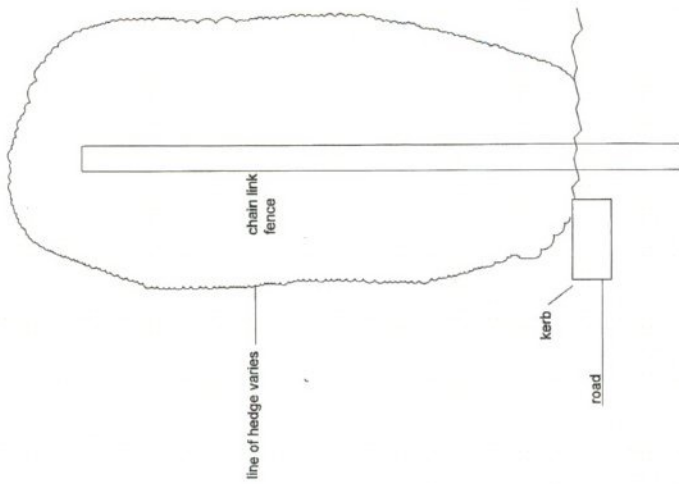
No. Date Name
 1 15/02/15 J. [Name]
 2 15/02/15 J. [Name]
 3 15/02/15 J. [Name]

Legend:
 Preliminary
 Issued for Planning Approval
 Issued for Construction
 As Built
 Based on Design Information
 Based on Tender
 As Built

Copyright Reserved ©

General Notes

- 1. This drawing must not be scaled.
- Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 65 X 115 flat top rail
 100 dia posts
 Bars headed in to stone coping.



Rev	Date	Description
C	04-22-15	Single gate added
B	07-24-15	Height revised
A	23-02-15	Height increased to 1000

REVISIONS

METALCRAFT
 TOTTENHAM LIMITED
 100, TOTTENHAM ROAD, TOTTENHAM, NORTH YORKSHIRE, LE11 5JG, U.K.

CLIENT
 The Church Commissioners

PROJECT
 Hyde Park Square & Gloucester Square

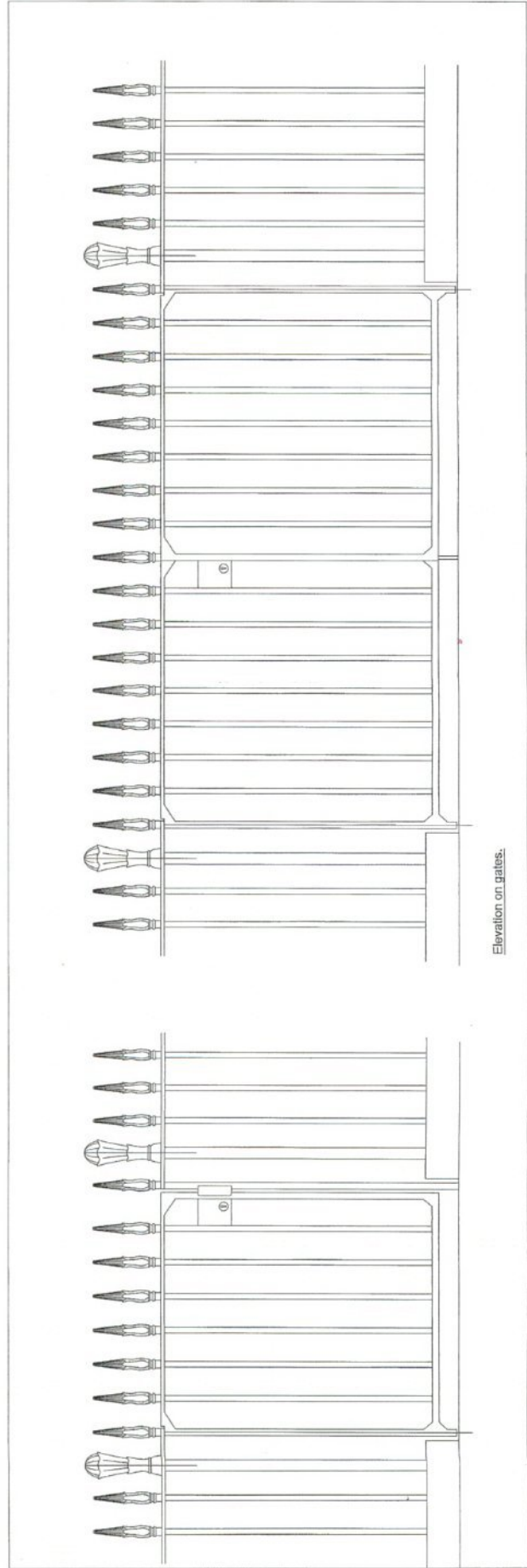
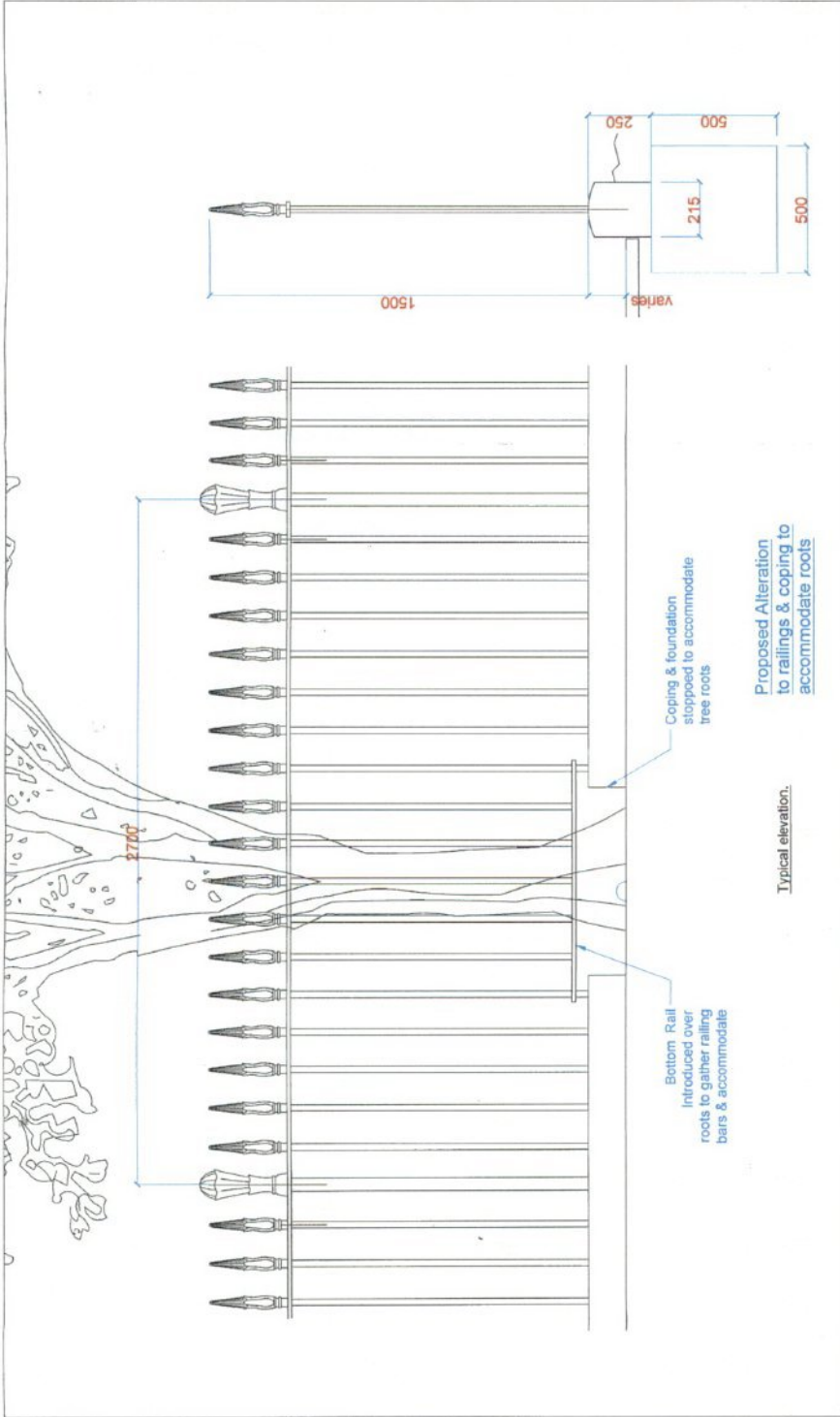
DRAWING TITLE
 Before and after conditions

Drawn By	Checked By	Date	Scale
PW	MB	14/05/15	1:1

PROJECT No. [] Drawing No. [] (S) - Prelim-02

General Notes

- 1. The drawing shall not be used for construction.
- Specification: 25 dia bars @ 150 c/c
- 30 dia posts @ 150 c/c
- 30 dia posts @ 150 c/c
- Forged railing heads to match existing.
- Bars lapped in to stone coping.



1	25 dia bars @ 150 c/c
2	30 dia posts @ 150 c/c
3	30 dia posts @ 150 c/c
4	Forged railing heads to match existing
5	Bars lapped in to stone coping

METALCRAFT
 METALWORK AND
 TOTTENHAM LIMITED
 100, NORTH BRIDGE ROAD, TOTTENHAM, NORTH YORKSHIRE, LE11 1JG
 TEL: 01832 353333 FAX: 01832 353334

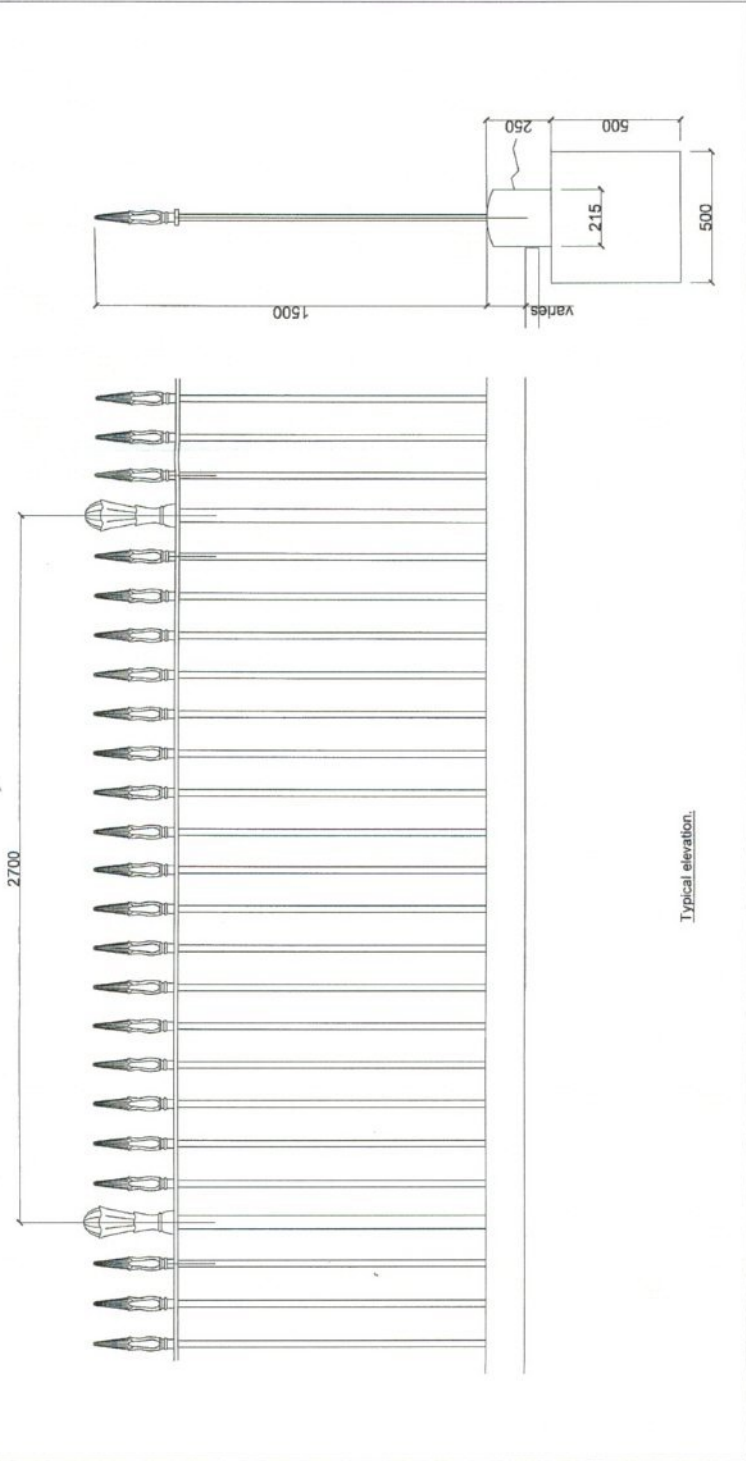
The Church Commissioners
 Hyde Park Square & Gloucester Square
 London W1J 7ET
 Typical railings and gates

P/W	0602015	1:1
-----	---------	-----

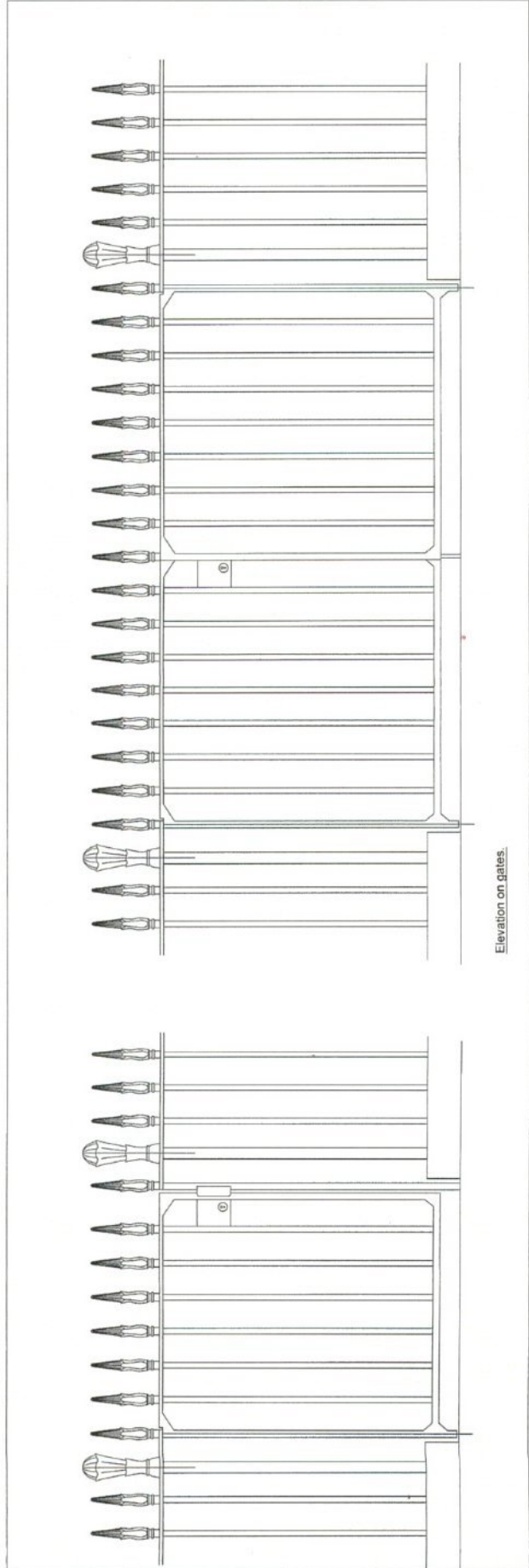
[0] - Plain-01

General Notes

- The drawing must not be scaled.
- Specification:
 25 dia bars @ 150 c/c
 150 dia top rail
 85 x 15 dia top rail
 Forged railing heads to match existing.
 Bars finished in to stone coping.



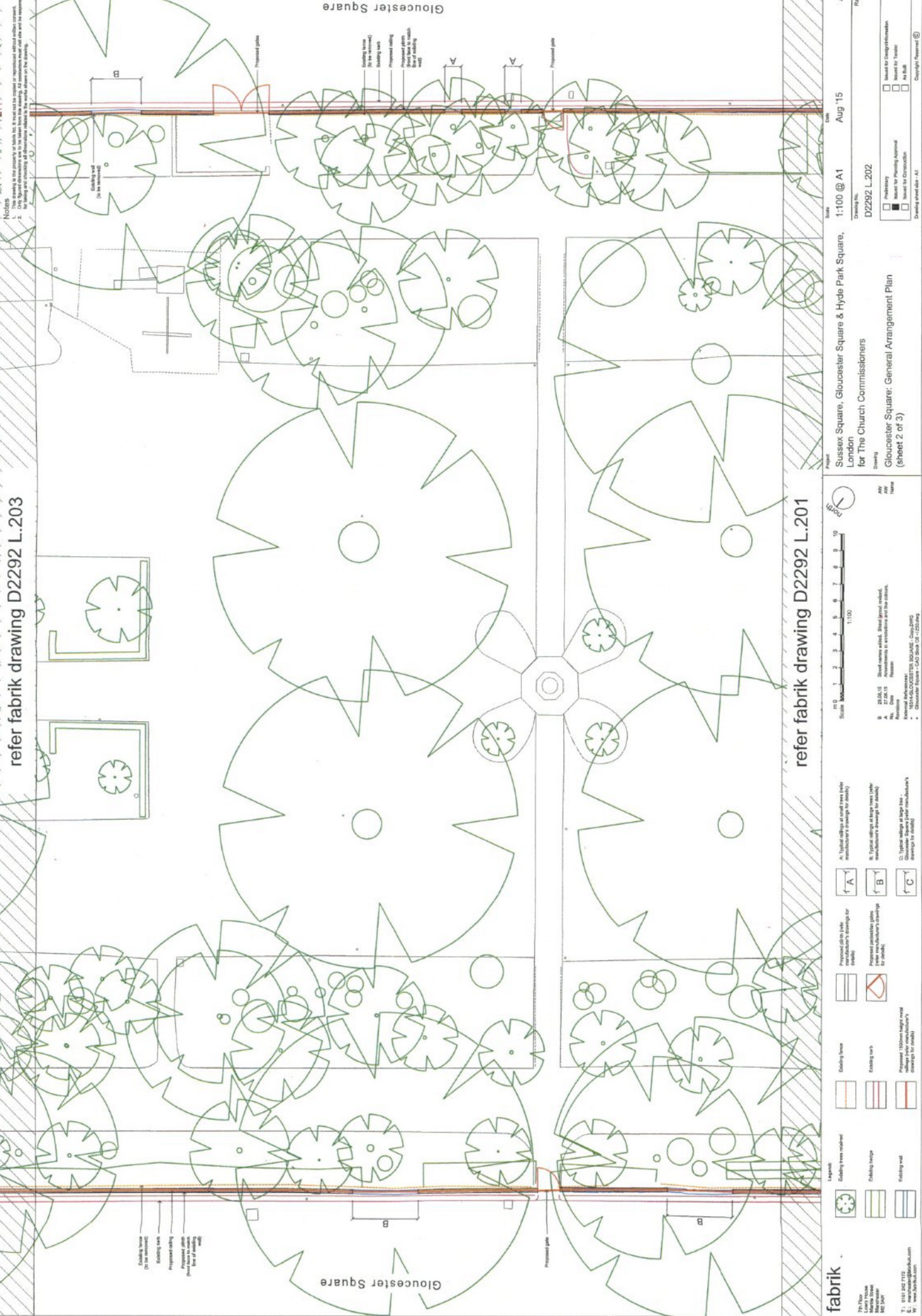
Typical elevation.



Elevation on gates.

C	08-25-15	Single gate added
B	07-24-15	Height reduced
A	23-22-15	Height increased to 1500
Index	Date	Description
REVISIONS		
METALCRAFT METALWORKERS LTD 100-102, BRISTOL ROAD, BIRMINGHAM, B15 2JG TEL: 0121 717 1000 FAX: 0121 717 1001 WWW.METALCRAFT.CO.UK		
CLIENT The Church Commissioners		
PROJECT Hyde Park Square & Gloucester Square BRISTOL, AVON		
Typical railings and gates		
DRAWN BY	CHECKED BY	DATE
PW	06/02/15	1:1
PROJECT No.	DRAWING No.	
		[0] - Prelim-01

refer fabrik drawing D2292 L.203



Notes

1. This drawing is the property of fabrik Inc. It is not to be copied or reproduced without written consent.
2. All planting is to be installed within the proposed curbs and footpaths.
3. All planting is to be installed within the proposed curbs and footpaths.
4. All planting is to be installed within the proposed curbs and footpaths.
5. All planting is to be installed within the proposed curbs and footpaths.
6. All planting is to be installed within the proposed curbs and footpaths.
7. All planting is to be installed within the proposed curbs and footpaths.
8. All planting is to be installed within the proposed curbs and footpaths.
9. All planting is to be installed within the proposed curbs and footpaths.
10. All planting is to be installed within the proposed curbs and footpaths.

- Existing trees retained
- Existing fence
- Existing gate
- Proposed gate
- Proposed planting (shown within the line of existing fence)
- Proposed sitting (shown within the line of existing fence)
- Proposed walking (shown within the line of existing fence)
- Proposed cycle (shown within the line of existing fence)

Scale 1:100

AW 28.04.15
 No. Date
 Author
 1031-GLOUCESTER SQUARE - GARDENS
 Gloucester Square - CAD Block 101258.dwg

AW
 Title
 Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing No. D2292 L.202
 Date Aug '15

Client Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

AW
 Title
 Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

AW
 Title
 Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

AW
 Title
 Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

AW
 Title
 Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

AW
 Title
 Gloucester Square: General Arrangement Plan (Sheet 2 of 3)

1:100 @ A1
 Scale

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Existing trees retained
 Existing fence
 Existing gate
 Proposed gate
 Proposed planting (shown within the line of existing fence)
 Proposed sitting (shown within the line of existing fence)
 Proposed walking (shown within the line of existing fence)
 Proposed cycle (shown within the line of existing fence)

Typical width of sand tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)
 Typical width of large tree (see manufacturer's drawings for details)

Notes

- This drawing is the property of fabrik. It must not be copied or reproduced without written consent.
- This drawing is for information only. It is not intended to be used for construction purposes and is not to be used for any other purpose.



Gloucester Square

Gloucester Square

refer fabrik drawing D2292 L.202

fabrik
 The fabrik
 100-102
 100-102
 100-102
 100-102

Legend

	Existing trees retained		Proposed public space (see separate drawings for details)
	Existing walls		Proposed pedestrian paths (see separate drawings for details)
	Existing walls		Proposed public space (see separate drawings for details)
	Existing walls		Proposed pedestrian paths (see separate drawings for details)
	Existing walls		Proposed public space (see separate drawings for details)
	Existing walls		Proposed pedestrian paths (see separate drawings for details)

Scale
 1:100

North Arrow

Project Information

Project: Sussex Square, Gloucester Square & Hyde Park Square, London
 Client: The Church Commissioners
 Drawing No: D2292 L.203
 Drawing Title: Gloucester Square: General Arrangement Plan (sheet 3 of 3)

Revision

Rev	Date	Description
AW	Aug '15	1:100 @ A1

Approval

<input type="checkbox"/>	Issued for Design/Authorisation
<input type="checkbox"/>	Issued for Planning Approval
<input type="checkbox"/>	Issued for Construction

Copyright Reserved

© Metalcraft Tottonham Ltd
 The drawing and any associated information appearing on it is the property of Metalcraft Tottonham Ltd and any reproduction or disclosure to any third party is prohibited without the written consent of Metalcraft Tottonham Ltd

Do not scale drawings.

General Notes
 Component Characteristics
 Tolerances of dimension and shape EN 1090-2 Tolerance class 1
 Weldability EN 10025-2, S275 / S355
 Fracture toughness / Impact resistance S275JR (27.0/20°C)
 S355JR (35.0/20°C)
 Stainless 304 / 316
 Load Bearing Capacity Designed to BS5950 / EN 1993
Steel Specification
 National Structural Steelwork Specification for Building Construction 3rd Edition CE Marking
Welds
 All welds to comply to MTL Welding Procedure Specifications (WPS)
Steel Grades
 All UC / UB / PFC / RSA - S355-JR
 All SHS / RHS / CHS - S355-J2
 All Plates - S275 - UNO



Welded Structural Components
 Execution Class 2 BS EN 1090
 Hyde Park Sq, Sussex Sq & Gloucester Sq.

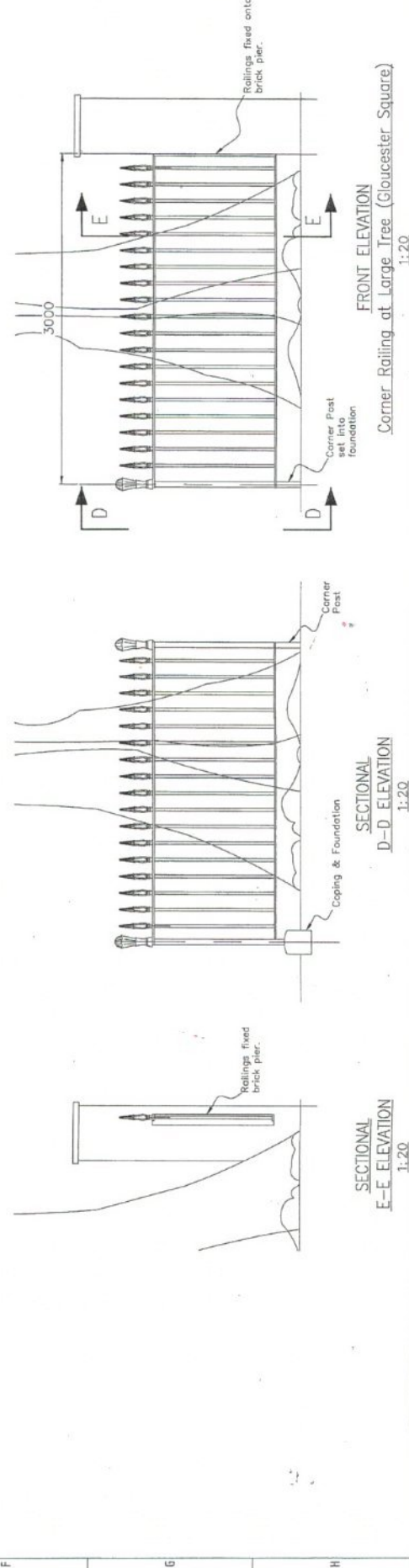
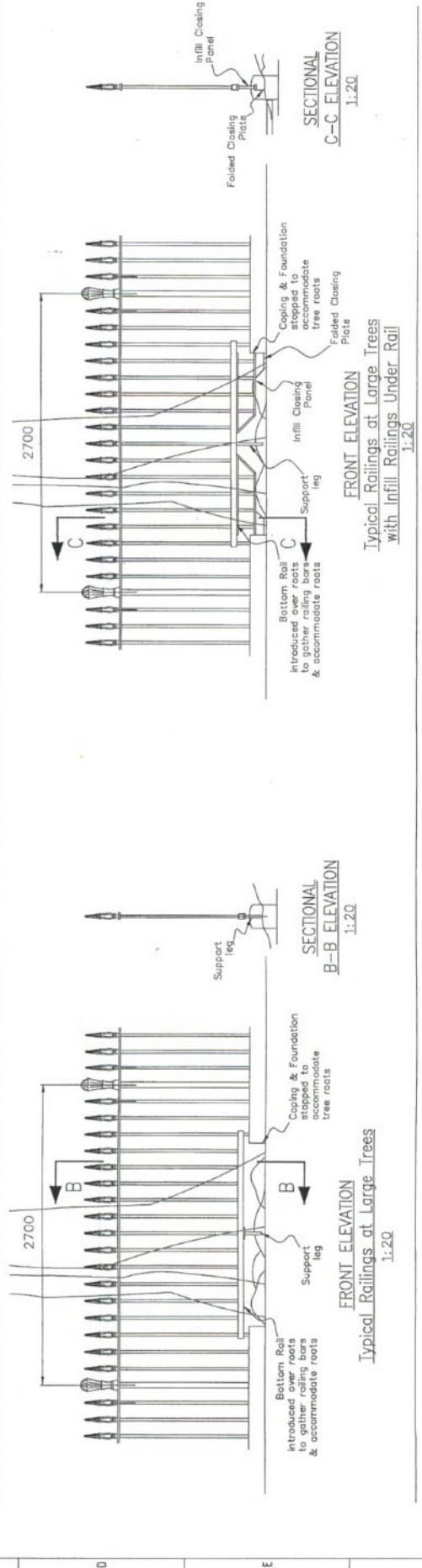
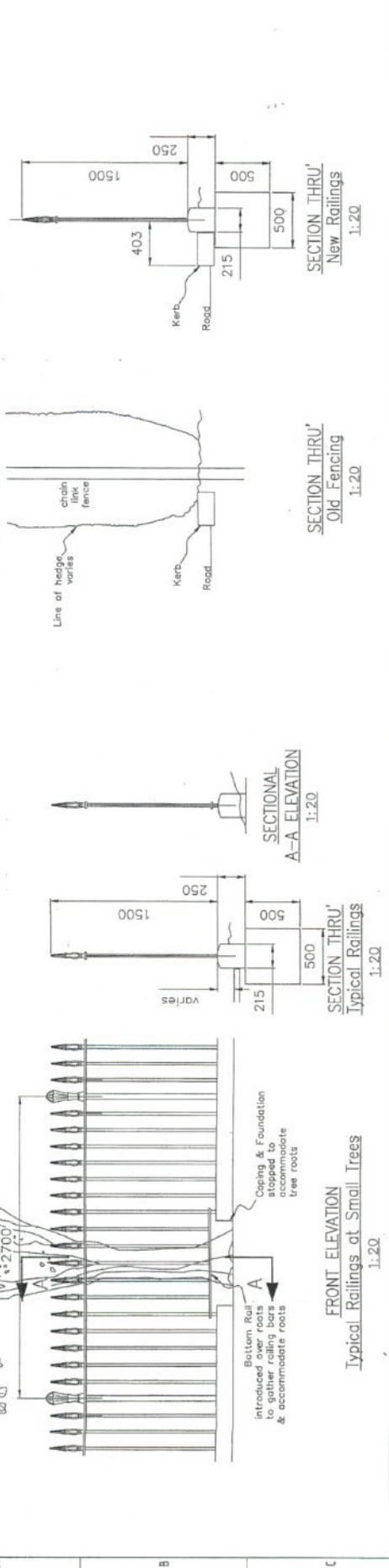
THE CHURCH COMMISSIONERS FOR ENGLAND

Project Number:	5366
Drawing number:	21-036-01
Issue No.:	001
Client:	THE CHURCH COMMISSIONERS FOR ENGLAND
Contract No.:	NOT APPROVED
Drawing Title:	RAILINGS AT TREE LOCATIONS

RAILINGS AT TREE LOCATIONS
 GA

METALCRAFT
 Tottonham Limited
 8-40 Dumbard Street
 Seven Stairs Road
 London W13 9JG
 Tel: 020 862 0715
 Fax: 020 862 0716
 E-mail: metalcraft@metalcraft.co.uk

Preliminary Proposals





1. Overview - Square
 2. Typical elevation of existing boundary wall and adjacent corner location. Photo.
 3. Typical elevation of existing boundary wall and adjacent corner location. Photo.
 4. Typical elevation of existing boundary wall and existing tree. Photo.
 5. Typical elevation of existing boundary wall and existing tree. Photo.

6. Typical elevation of existing boundary wall and existing tree. Photo.
 7. Typical elevation of existing boundary wall and existing tree. Photo.
 8. Typical elevation of existing boundary wall and existing tree. Photo.
 9. Typical elevation of existing boundary wall and existing tree. Photo.

Arboricultural Method Statement

The purpose of this Arboricultural Method Statement (AMS) is to provide a detailed description of the proposed works to be carried out on the site. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment.

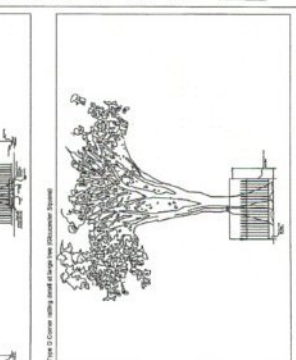
- Step 1: Pre-construction meeting
- Step 2: Site survey and tree identification
- Step 3: Tree protection and safety planning
- Step 4: Tree protection and safety planning
- Step 5: Tree protection and safety planning
- Step 6: Tree protection and safety planning
- Step 7: Tree protection and safety planning
- Step 8: Tree protection and safety planning
- Step 9: Tree protection and safety planning
- Step 10: Tree protection and safety planning

The purpose of this AMS is to provide a detailed description of the proposed works to be carried out on the site. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment.

The purpose of this AMS is to provide a detailed description of the proposed works to be carried out on the site. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment.

The purpose of this AMS is to provide a detailed description of the proposed works to be carried out on the site. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment.

The purpose of this AMS is to provide a detailed description of the proposed works to be carried out on the site. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment. The AMS is a key document in the planning process and is used to demonstrate that the proposed works will be carried out in a manner that minimises the impact on the trees and the environment.



tree:fabrik
 18 Linton Street
 Aldershot, GU11 1JH
 T: 01430 892280
 F: 01430 544243
 E: info@treefabrik.com

Project: SUSSEX, GLOUCESTER & HYDE PARK SQUARES LONDON
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Scale: 1:250
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

Scale: 1:250
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

Scale: 1:250
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

Scale: 1:250
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

Scale: 1:250
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

Scale: 1:250
 Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE
 Date: MARCH '15
 AR
 Drawing No: 11008/MS/301
 Revision: B

APPLICATION 3



Legend:

Application boundary



CASE COPY
 To: _____
 From: _____
 ADDRESS: _____



Project
 Sussex Square, Gloucester Square & Hyde Park Square, London
 for The Church Commissioners
 Hyde Park Square: Location Plan

Drawn AIV
Approved

Date Mar '15

Scale 1:1250 @ A3
Drawing No. D2292 L.002

Checklist

<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Construction
<input type="checkbox"/> Issued for Design/Construction	<input type="checkbox"/> Issued for 'in situ'	<input type="checkbox"/> As Built

Drawn by: [Name]
 Checked by: [Name]

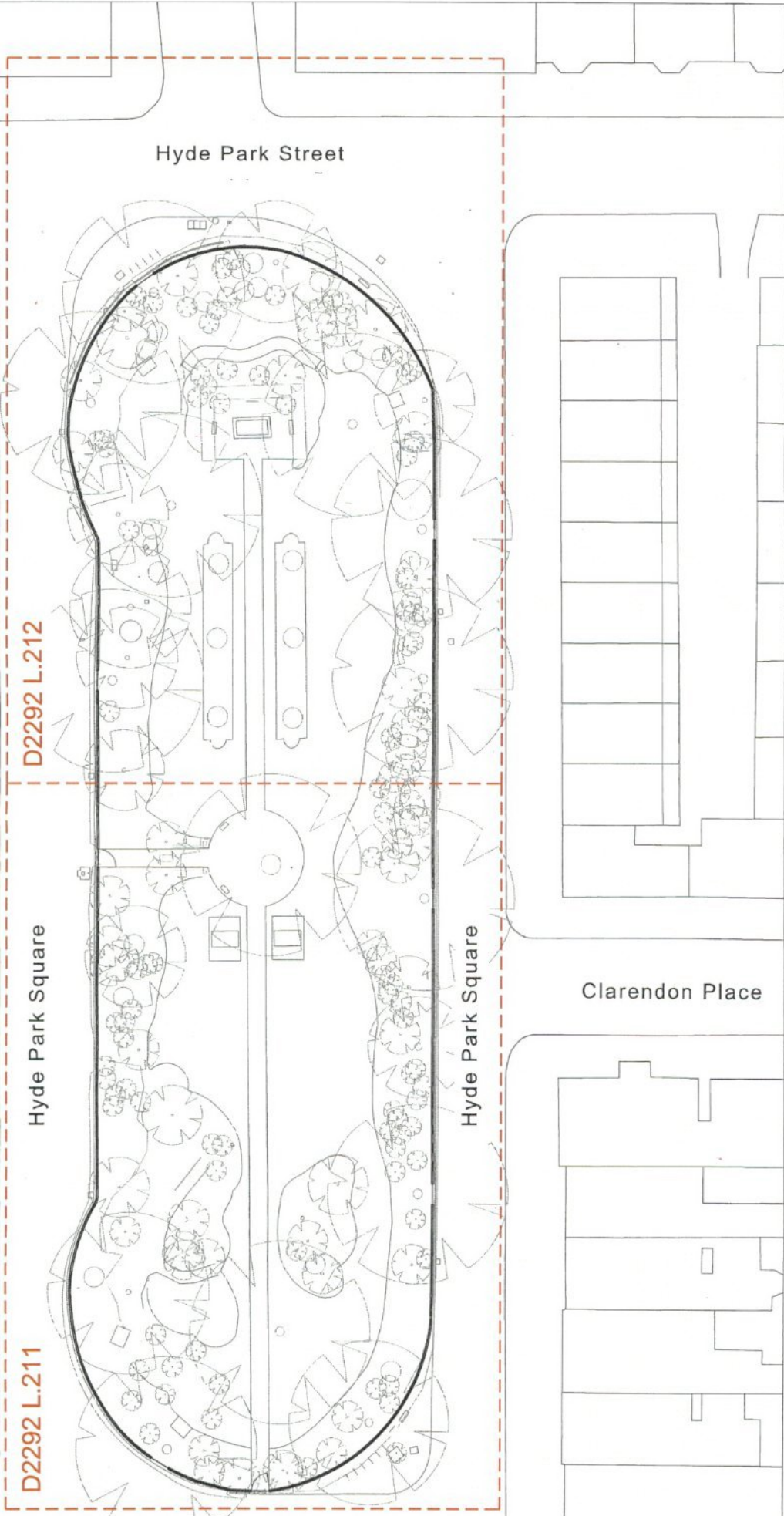
Notes

- The location of the proposed site is shown in red on the site plan.
- Only the information shown on this plan is to be used for planning purposes. All contractors must refer to the original drawings and specifications for the site shown on the drawing.

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____

NOTES

- 1. This drawing is the property of Fabrik Ltd. It must not be copied or reproduced without written consent.
- 2. The drawings are to be used for information only and are not to be used for construction or for any other purpose without the written consent of Fabrik Ltd. It is the responsibility of the client to check and verify all dimensions and details before construction.



D2292 L.212

D2292 L.211

Hyde Park Square

Hyde Park Square

Hyde Park Street

Clarendon Place

Hyde Park Square

fabrik

101-103
 Norfolk Street
 London EC2A 4DF
 T: 020 7462 1172
 F: 020 7462 1173
 www.fabrik.com







No. Date Reason
 1 15/11/15 HYDE PARK SQUARE - CITY LAND
 2 10/01/16 HYDE PARK SQUARE - CITY LAND

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Hyde Park Square: Drawing Location Plan
 Drawing sheet size: A1

Scale: 1:200 @ A1
 Date: Aug '15
 Drawn: AW
 Checked: AW
 Project No: D2292 L.210
 Preparing
 Based for Planning Approval
 Based for Construction
 Based for Design/Information
 Based for Tender
 As Built
 Copyright Reserved ©

Notes:
 1. The drawing is the property of fabrik Ltd. It may not be copied or reproduced without written consent.
 2. Only those dimensions are to be taken from this drawing. All contractors must use and be responsible for using and checking all dimensions taken to the work shown on the drawing.

- Legend:**
-  Existing trees retained
 -  Existing bridge to be removed
 -  Proposed 1000mm height metal railing with 1000mm spacing for adults
 -  Proposed pedestrian safety fence, manufacturer's drawings for details



fabrik
 The Fabrik Group
 100, Market Street
 Brighton, BN1 1AB
 T: 01323 242 7772
 E: info@fabrik.co.uk

Project: Sussex Square, Gloucester Square & Hyde Park Square, London
Client: For The Church Commissioners
Drawing No.: D2292 L.102
Scale: 1:200 @ A1
Date: Jan '15
Drawn: AW
Revision: B

Revisions:

<input checked="" type="checkbox"/>	Final	Issued for Planning Approval
<input type="checkbox"/>	Final	Issued for Construction
<input type="checkbox"/>	Final	Issued for Daily/10m/20m
<input type="checkbox"/>	Final	Issued for Tender
<input type="checkbox"/>	Final	As Built

AW
 Name: [Redacted]
 Date: [Redacted]

10/01/15
 Legend amended.
 No. 020
 Revisions:
 1. 10/01/15
 2. 10/01/15
 3. 10/01/15
 4. 10/01/15
 5. 10/01/15
 6. 10/01/15
 7. 10/01/15
 8. 10/01/15
 9. 10/01/15
 10. 10/01/15
 11. 10/01/15
 12. 10/01/15
 13. 10/01/15
 14. 10/01/15
 15. 10/01/15
 16. 10/01/15
 17. 10/01/15
 18. 10/01/15
 19. 10/01/15
 20. 10/01/15
 21. 10/01/15
 22. 10/01/15
 23. 10/01/15
 24. 10/01/15
 25. 10/01/15
 26. 10/01/15
 27. 10/01/15
 28. 10/01/15
 29. 10/01/15
 30. 10/01/15
 31. 10/01/15
 32. 10/01/15
 33. 10/01/15
 34. 10/01/15
 35. 10/01/15
 36. 10/01/15
 37. 10/01/15
 38. 10/01/15
 39. 10/01/15
 40. 10/01/15
 41. 10/01/15
 42. 10/01/15
 43. 10/01/15
 44. 10/01/15
 45. 10/01/15
 46. 10/01/15
 47. 10/01/15
 48. 10/01/15
 49. 10/01/15
 50. 10/01/15
 51. 10/01/15
 52. 10/01/15
 53. 10/01/15
 54. 10/01/15
 55. 10/01/15
 56. 10/01/15
 57. 10/01/15
 58. 10/01/15
 59. 10/01/15
 60. 10/01/15
 61. 10/01/15
 62. 10/01/15
 63. 10/01/15
 64. 10/01/15
 65. 10/01/15
 66. 10/01/15
 67. 10/01/15
 68. 10/01/15
 69. 10/01/15
 70. 10/01/15
 71. 10/01/15
 72. 10/01/15
 73. 10/01/15
 74. 10/01/15
 75. 10/01/15
 76. 10/01/15
 77. 10/01/15
 78. 10/01/15
 79. 10/01/15
 80. 10/01/15
 81. 10/01/15
 82. 10/01/15
 83. 10/01/15
 84. 10/01/15
 85. 10/01/15
 86. 10/01/15
 87. 10/01/15
 88. 10/01/15
 89. 10/01/15
 90. 10/01/15
 91. 10/01/15
 92. 10/01/15
 93. 10/01/15
 94. 10/01/15
 95. 10/01/15
 96. 10/01/15
 97. 10/01/15
 98. 10/01/15
 99. 10/01/15
 100. 10/01/15

Notes

1. All heights are to be measured to the top of the coping or parapet unless otherwise stated.
2. Only ground elevations are to be taken from this set of drawings unless otherwise stated. All heights are to be taken and checked at elevations related to the works shown on the drawing.



Elevation 1

Scale: 1:100
 0 1 2 3 4 5 6 7 8 9 10
 m 0

fabrik

7th Floor
 Liberty House
 100 Broad Street
 Birmingham
 B2 3JY

T: 0121 642 1722
 F: 0121 642 1723
 W: www.fabrik.co.uk

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing No: D2392 L-A20
 Drawing Title: Hyde Park Square: Site Sections & Elevations
 Sheet 1

Scale: 1:100 @ A1
 Date: Jan '15
 Drawn: AW
 Revision: C

Issued for Design Information
 Issued for Tender
 Issued for Construction
 Issued for Construction

Copyright Reserved ©

AW
 Name
 Date: 27.06.15
 Reason: Existing elevations revised to accommodate with manufacturer's proposals.
 No. 17.03.15
 Reason: Existing elevations revised to accommodate with manufacturer's proposals.
 External References:
 • BS1188:2002
 • BS1188:2002

Notes

1. This drawing is the property of Fabrik Ltd. It must not be copied or reproduced without written consent.
2. Only approved dimensions are to be taken from this drawing. All dimensions must include wall and be perpendicular to the line of measurement.
3. All dimensions are to be taken from the existing ground level unless otherwise stated.
4. All dimensions are to be taken from the existing ground level unless otherwise stated.



Proposed pedestrian gate (refer manufacturer's drawings for details)

Existing trees retained (indicative only)

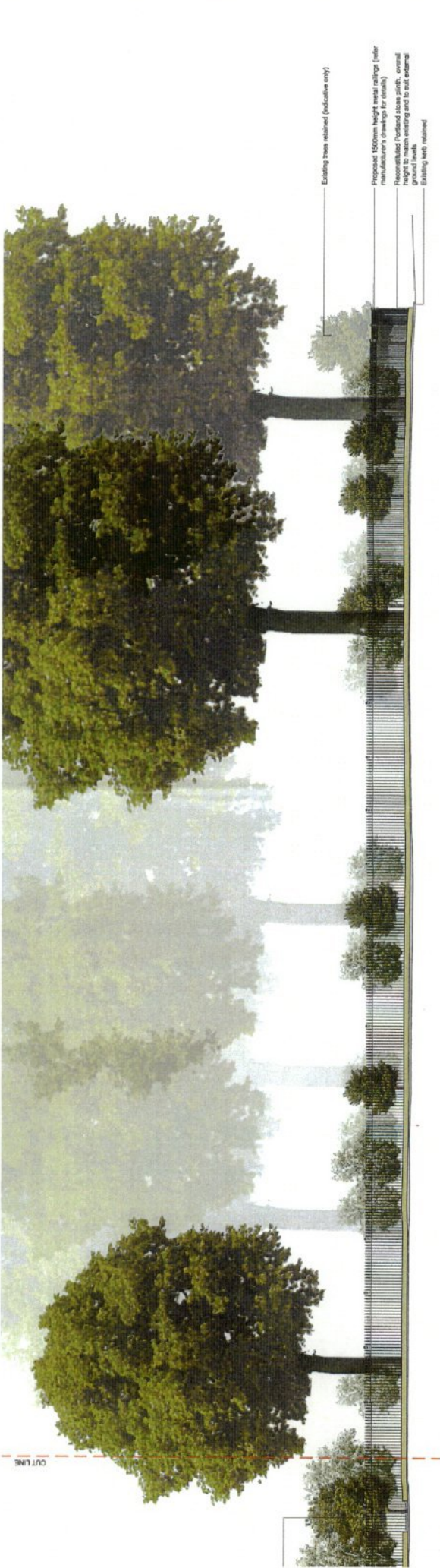
Existing fence retained

Existing junction box retained

Proposed 1500mm height metal railings (refer manufacturer's drawings for details)

Reconstructed Portland stone pillars, overall height to match existing and to suit external ground levels

Existing trees retained



Existing trees retained (indicative only)

Proposed 1500mm height metal railings (refer manufacturer's drawings for details)

Reconstructed Portland stone pillars, overall height to match existing and to suit external ground levels

Existing trees retained

Elevation 2

Scale: 1:100

0 1 2 3 4 5 6 7 8 9 10

fabrik

7th Floor
County House
100, Market Street
Manchester
M2 3AP

T: 0161 242 1722
E: info@fabrik.com
W: www.fabrik.com

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Drawing: Hyde Park Square: Site Sections & Elevations
Sheet 2

Scale: 1:100 @ A1
Date: Jan 15

Drawn: AW
Checked: AW
Reviewed: AW
Status: E

Drawing No: D2292 L 421

Preliminary
 Issued for Planning Approval
 Issued for Design/Construction
 Issued for Tender
 As Built

Copyright Reserved ©

E 20.05.15
 C 20.05.15
 B 20.05.15
 A 17.02.15
 Revision Reason
 External References:
 • Gloucester Square - CAD Block 05 - 13.05.14.dwg

All elevations created in accordance with manufacturer's proposals.
 Existing height retained. Existing hedge removed.
 Elevation artwork is subject to final railing details.
 All dimensions are to be taken from the existing ground level unless otherwise stated.

Notes

1. Materials to be specified by the client.
2. Only specified dimensions are to be taken from the drawings. All construction materials and details are to be specified by the client.
3. All materials and dimensions are to be taken from the drawings.



Elevation 3



Elevation 4



Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners Drawings: Hyde Park Square: Site Sections & Elevations Sheet: 3		Scale: 1:100 @ A1 Date: Jan '15 Author: AW Revision: C						
Drawing No.: D2292 L-422								
<table border="0"> <tr> <td><input type="checkbox"/> Preliminary</td> <td><input type="checkbox"/> Based for Design Approval</td> <td><input type="checkbox"/> Based for Tender</td> </tr> <tr> <td><input type="checkbox"/> Issued for Planning Approval</td> <td><input type="checkbox"/> Based for Construction</td> <td><input type="checkbox"/> As Built</td> </tr> </table>			<input type="checkbox"/> Preliminary	<input type="checkbox"/> Based for Design Approval	<input type="checkbox"/> Based for Tender	<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Based for Construction	<input type="checkbox"/> As Built
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Based for Design Approval	<input type="checkbox"/> Based for Tender						
<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Based for Construction	<input type="checkbox"/> As Built						
Drawing sheet size: A1 Copyright Reserved ©								



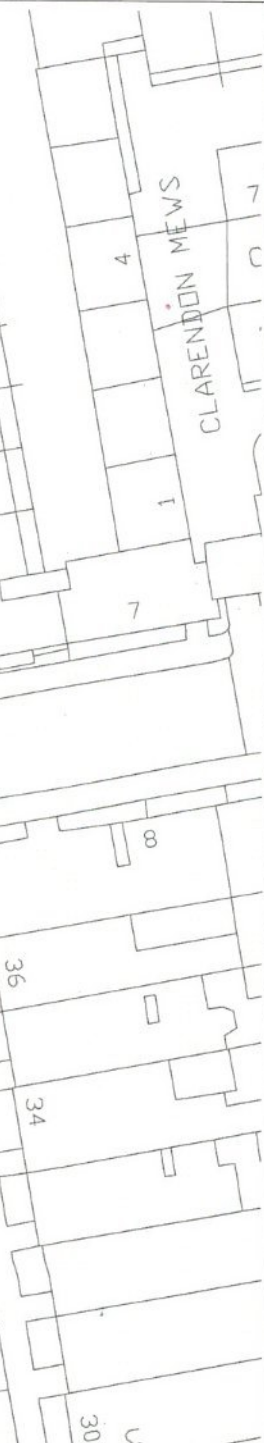
1. High street trees

2. Mature trees in residential areas

3. Typical street planting in residential areas

4. Examples of existing boundary trees and hedges

5. Examples of existing street trees and hedges



NOTES
 1. The location of trees shown in this plan is based on the latest available aerial photography. The location of trees shown in this plan is based on the latest available aerial photography. The location of trees shown in this plan is based on the latest available aerial photography.

Legend	Description
[Symbol]	Existing trees (indicated by a circle with a number)
[Symbol]	Proposed trees (indicated by a circle with a number)
[Symbol]	Existing hedges (indicated by a line with a number)
[Symbol]	Proposed hedges (indicated by a line with a number)
[Symbol]	Boundary trees (indicated by a circle with a number)
[Symbol]	Street trees (indicated by a circle with a number)
[Symbol]	Hedges (indicated by a line)
[Symbol]	Planting zones (indicated by a shaded area)

Table 2: Schedule of trees

Tree ID	Species	Height (m)	Age Class	Health	Notes
T1	London Plane	15	1	Good	Boundary tree
T2	London Plane	15	1	Good	Boundary tree
T3	London Plane	15	1	Good	Boundary tree
T4	London Plane	15	1	Good	Boundary tree
T5	London Plane	15	1	Good	Boundary tree
T6	London Plane	15	1	Good	Boundary tree
T7	London Plane	15	1	Good	Boundary tree
T8	London Plane	15	1	Good	Boundary tree
T9	London Plane	15	1	Good	Boundary tree
T10	London Plane	15	1	Good	Boundary tree
T11	London Plane	15	1	Good	Boundary tree
T12	London Plane	15	1	Good	Boundary tree
T13	London Plane	15	1	Good	Boundary tree
T14	London Plane	15	1	Good	Boundary tree
T15	London Plane	15	1	Good	Boundary tree
T16	London Plane	15	1	Good	Boundary tree
T17	London Plane	15	1	Good	Boundary tree
T18	London Plane	15	1	Good	Boundary tree
T19	London Plane	15	1	Good	Boundary tree
T20	London Plane	15	1	Good	Boundary tree
T21	London Plane	15	1	Good	Boundary tree
T22	London Plane	15	1	Good	Boundary tree
T23	London Plane	15	1	Good	Boundary tree
T24	London Plane	15	1	Good	Boundary tree
T25	London Plane	15	1	Good	Boundary tree
T26	London Plane	15	1	Good	Boundary tree
T27	London Plane	15	1	Good	Boundary tree
T28	London Plane	15	1	Good	Boundary tree
T29	London Plane	15	1	Good	Boundary tree
T30	London Plane	15	1	Good	Boundary tree
T31	London Plane	15	1	Good	Boundary tree
T32	London Plane	15	1	Good	Boundary tree
T33	London Plane	15	1	Good	Boundary tree
T34	London Plane	15	1	Good	Boundary tree
T35	London Plane	15	1	Good	Boundary tree
T36	London Plane	15	1	Good	Boundary tree
T37	London Plane	15	1	Good	Boundary tree
T38	London Plane	15	1	Good	Boundary tree
T39	London Plane	15	1	Good	Boundary tree
T40	London Plane	15	1	Good	Boundary tree

Table 3: Schedule of hedges

Hedge ID	Type	Length (m)	Notes
H1	Box Hedge	100	Boundary hedge
H2	Box Hedge	100	Boundary hedge
H3	Box Hedge	100	Boundary hedge
H4	Box Hedge	100	Boundary hedge
H5	Box Hedge	100	Boundary hedge
H6	Box Hedge	100	Boundary hedge
H7	Box Hedge	100	Boundary hedge
H8	Box Hedge	100	Boundary hedge
H9	Box Hedge	100	Boundary hedge
H10	Box Hedge	100	Boundary hedge
H11	Box Hedge	100	Boundary hedge
H12	Box Hedge	100	Boundary hedge
H13	Box Hedge	100	Boundary hedge
H14	Box Hedge	100	Boundary hedge
H15	Box Hedge	100	Boundary hedge
H16	Box Hedge	100	Boundary hedge
H17	Box Hedge	100	Boundary hedge
H18	Box Hedge	100	Boundary hedge
H19	Box Hedge	100	Boundary hedge
H20	Box Hedge	100	Boundary hedge
H21	Box Hedge	100	Boundary hedge
H22	Box Hedge	100	Boundary hedge
H23	Box Hedge	100	Boundary hedge
H24	Box Hedge	100	Boundary hedge
H25	Box Hedge	100	Boundary hedge
H26	Box Hedge	100	Boundary hedge
H27	Box Hedge	100	Boundary hedge
H28	Box Hedge	100	Boundary hedge
H29	Box Hedge	100	Boundary hedge
H30	Box Hedge	100	Boundary hedge

Table 4: Tree IDs used on drawings

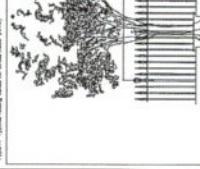


Table 4: Tree IDs used on drawings

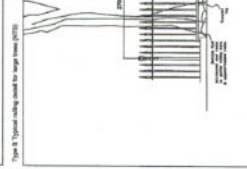


Table 5: Typical 20m tree used on drawings

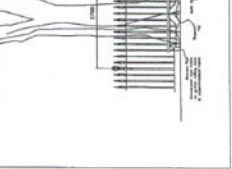


Table 6: Typical 30m tree used on drawings

Arboricultural Method Statement

The purpose of this document is to provide a detailed description of the work to be carried out on the site. It includes information on the site, the work to be carried out, the methods to be used, and the resources to be employed. The work to be carried out includes the removal of existing trees and hedges, the planting of new trees and hedges, and the maintenance of existing trees and hedges. The methods to be used include the use of chainsaws, axes, and other tools. The resources to be employed include workers, equipment, and materials.

Site Information:

Address: Hyde Park Square, Clarendon Mews, London, UK

Project: Hyde Park Square, Clarendon Mews, London, UK

Work to be carried out:

- Removal of existing trees and hedges
- Planting of new trees and hedges
- Maintenance of existing trees and hedges

Methods to be used:

- Use of chainsaws, axes, and other tools
- Use of ladders and other equipment
- Use of appropriate safety measures

Resources to be employed:

- Workers
- Equipment
- Materials



North

tree.fabrik
 16 Linton Street
 Alton, Hampshire
 Tel: 01420 502200
 Fax: 01420 542213
 E: alan@treefabrik.com

Project
 SUSSEX, GLOUCESTER & HYDE PARK SQUARES
 LONDON

Drawing
 ARBORICULTURAL METHOD STATEMENT
 HYDE PARK SQUARE

Scale: Drawing sheet size: A1

Date: MARCH 15

Scale: AR

Drawing No. I1008/MS/302

Revision B

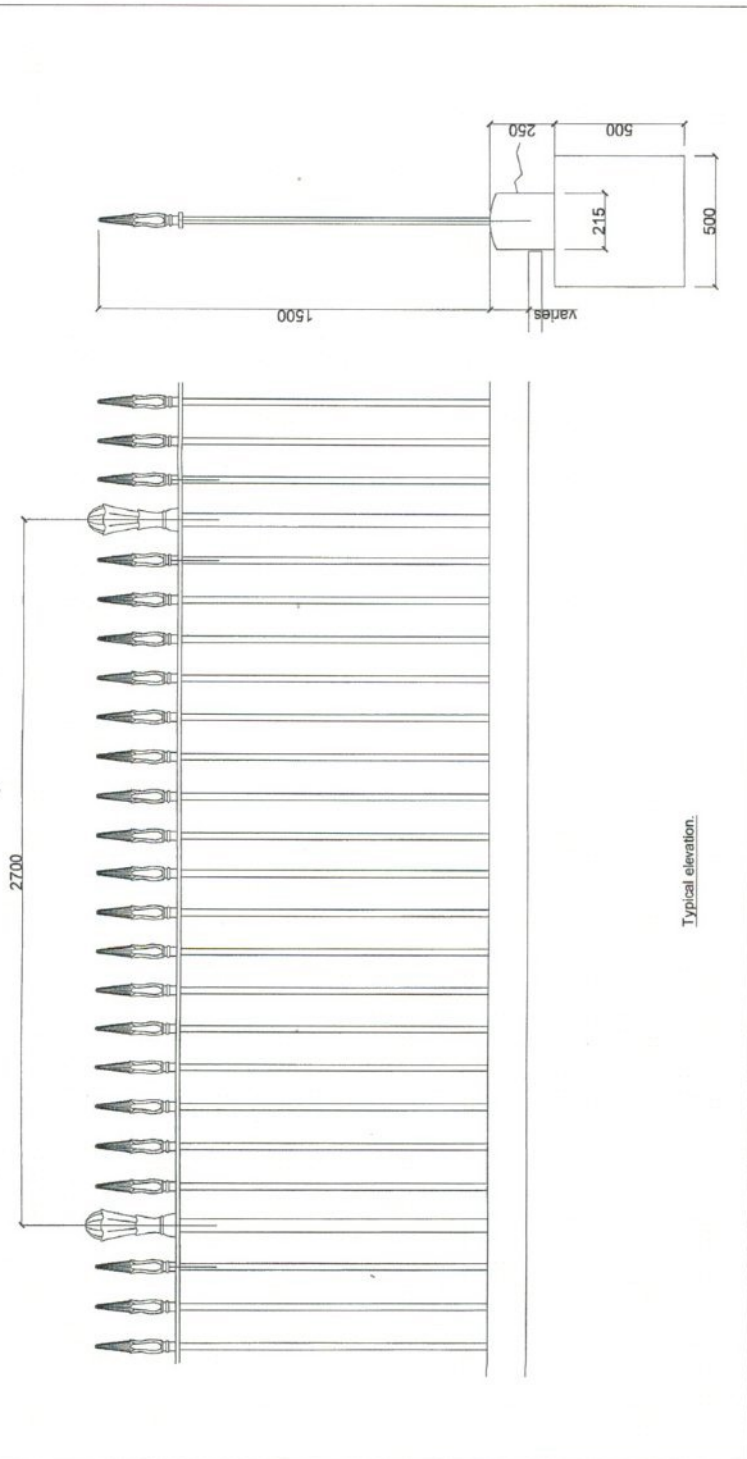
Final/Ready for Construction
 Revised for Planning Approval
 Revised for Design/Information
 As Built

m 0 5 10 15 20 25

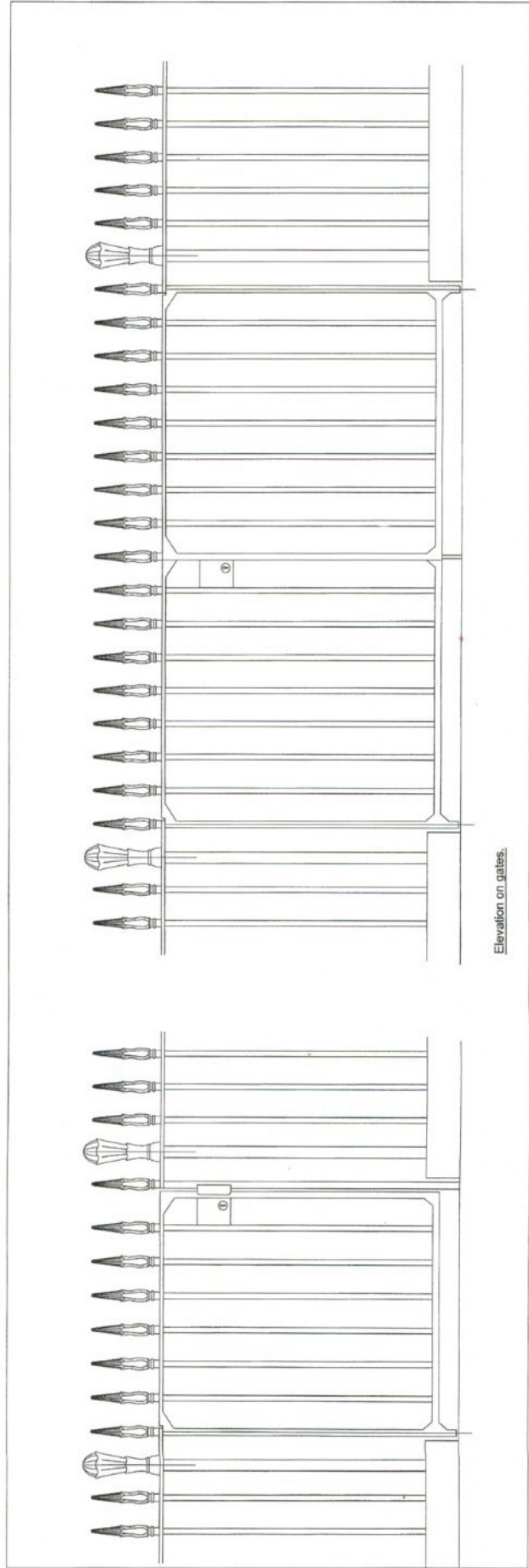
SCALE 1:500

General Notes

- This drawing must not be scaled.
- Specification:
 25 dia bars @ 150 cc
 50 dia posts
 60 x 15 flat top rail
 Bars to be welded to match existing.
 Bars finished to stone coping.



Typical elevation.



Elevation on gates.

C	06-25-15	Single gate added
B	07-04-15	Height revised
A	23-03-15	Height increased to 1500
Mark	Date	Description

REVISIONS

METALCRAFT
 METALWORKERS LTD
 TOTTENHAM LIMITED
 UNIT 1, HAYWARDS LANE, TOTTENHAM, NORTHAMPTONSHIRE, NN16 9JF, UK
 TEL: 01832 353333 FAX: 01832 353334
 WWW.METALCRAFT.CO.UK

CLIENT
 The Church Commissioners

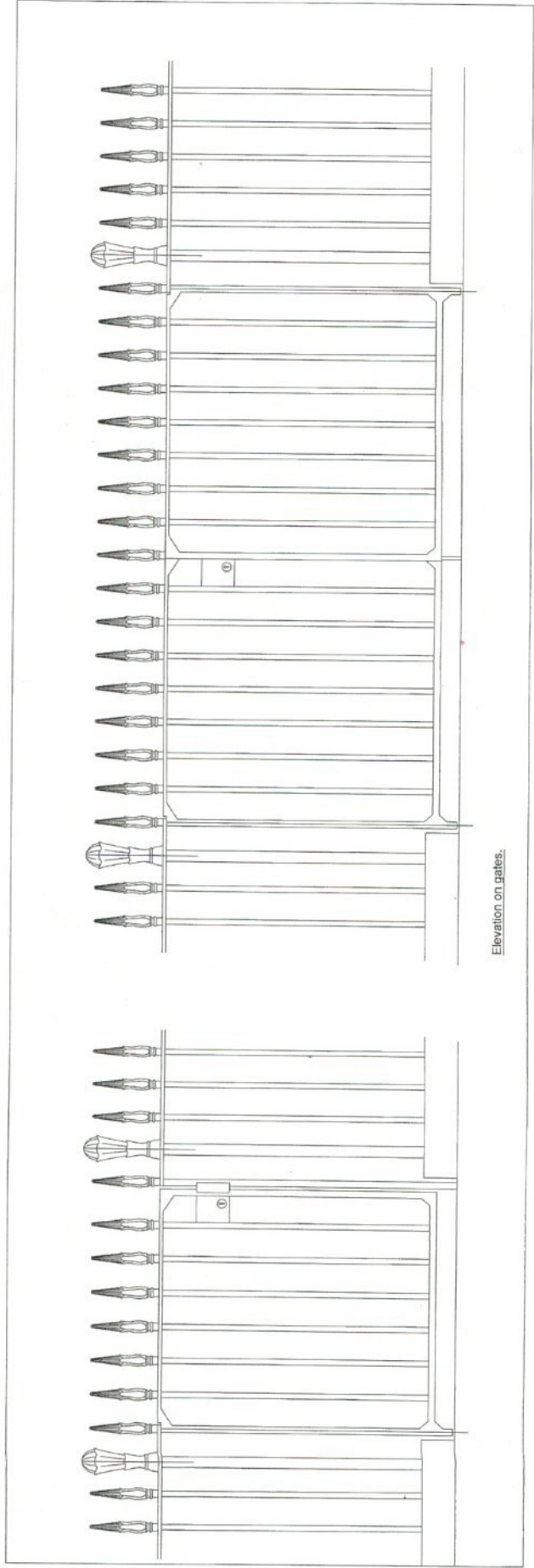
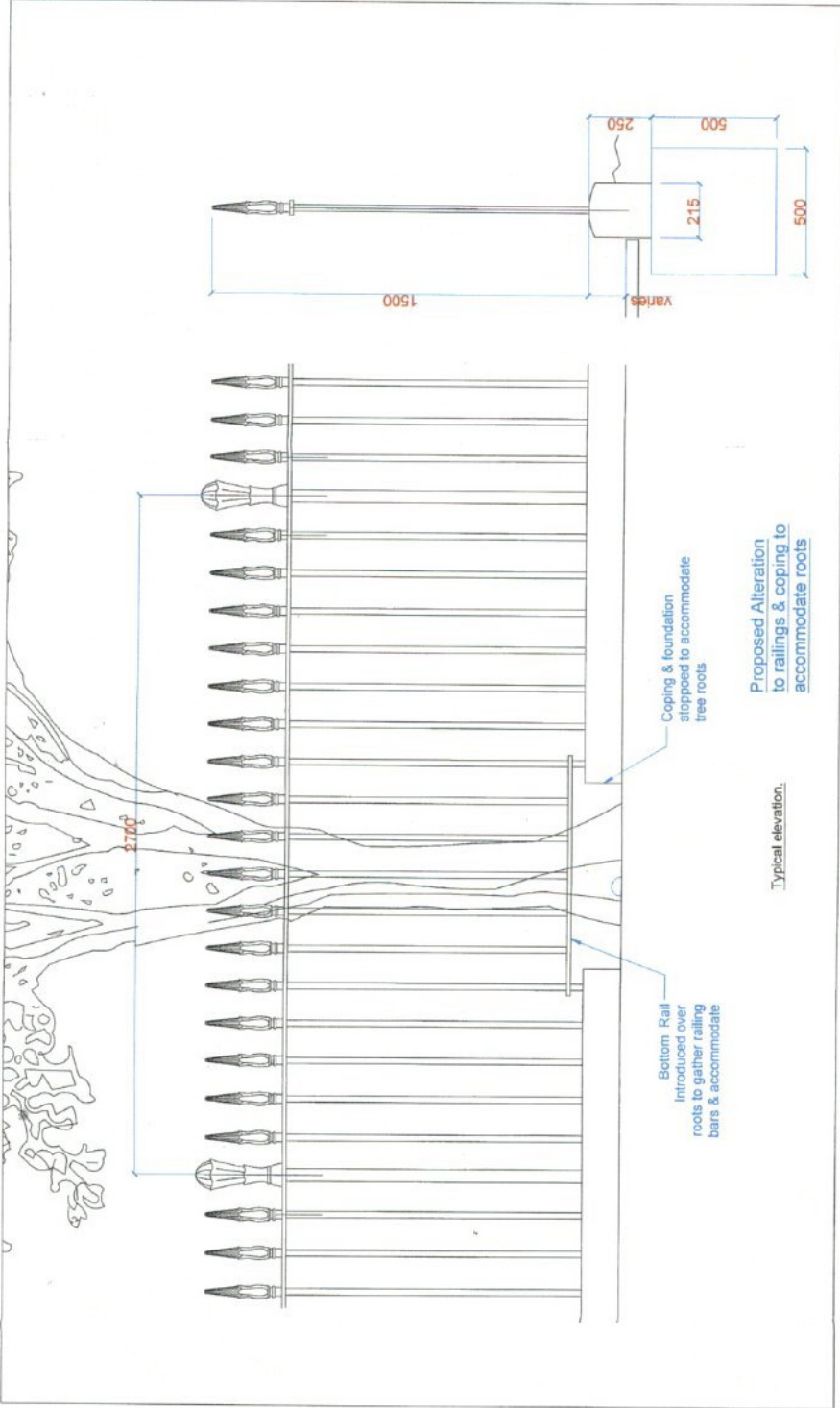
PROJECT
 Hyde Park Square & Gloucester Square

DRAWING TITLE
 Typical railings and gates

DRAWN BY	CHECKED BY	DATE	SCALE
PW		06/07/15	1:1
PROJECT No.	DRAWING No.		
		[C] - Prelim-01	

General Notes

- 1. **Tree Railing** - see also for details
- Specification:
25 dia bars @ 150 c/c
50 dia posts
60% of rail top rail
Flare leaded in to match existing.
Flare leaded in to show coping.



1	25 dia bars @ 150 c/c	50 dia posts	60% of rail top rail	Flare leaded in to match existing	Flare leaded in to show coping
<p>METALCRAFT TOTTENHAM LIMITED AN IRVINGWORLD GROUP COMPANY 100, TOTTENHAM ROAD, TOTTENHAM, NORTH YORKSHIRE, LE11 5JG, ENGLAND</p> <p>The Church Commissioners Holy Park Square & Gloucester Square Typical railings and gates</p>					
PW	06/02/15	1:1	[3] - Prelim-01		

© Metalcraft Tobenham Ltd
 This drawing and any associated information appearing on it is the property of Metalcraft Tobenham Ltd and any reproduction without the prior written consent of Metalcraft Tobenham Ltd is prohibited unless expressly authorized by Metalcraft Tobenham Ltd.

Do not scale drawings.

General Notes
 Component Characteristics
 Tolerances of dimension and shape EN 1090-2 Tolerance class 1
 Weldability
 EN 10025-2, S275 / S355
 Fracture toughness / impact resistance S275JR (27.0g20°C)
 S355JR (27.0g20°C)
 Standards 304 / 316

Load Bearing Capacity
 Designed to BS5950 / EN 1993
 Steel Specification
 National Structural Steelwork
 Specification for Building Construction 5th Edition CE Mending

Welds
 All welds to comply to MTJ, Welding Procedure Specifications (WPS)
 Steel Grades
 All UC / UB / PFC / RSA - S355-JR
 All SHS / RHS / CHS - S355-J2
 All Plates - S275 - UKO



Welded Structural Components
 Execution Class 2 BS EN 1090

Hyde Park Sq, Sussex Sq & Gloucester Sq.

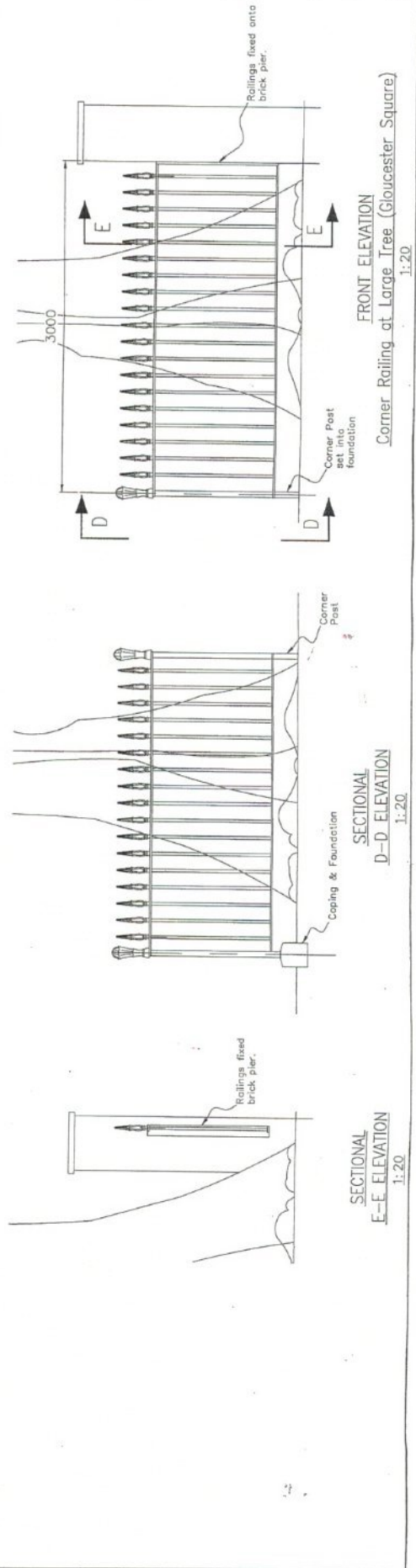
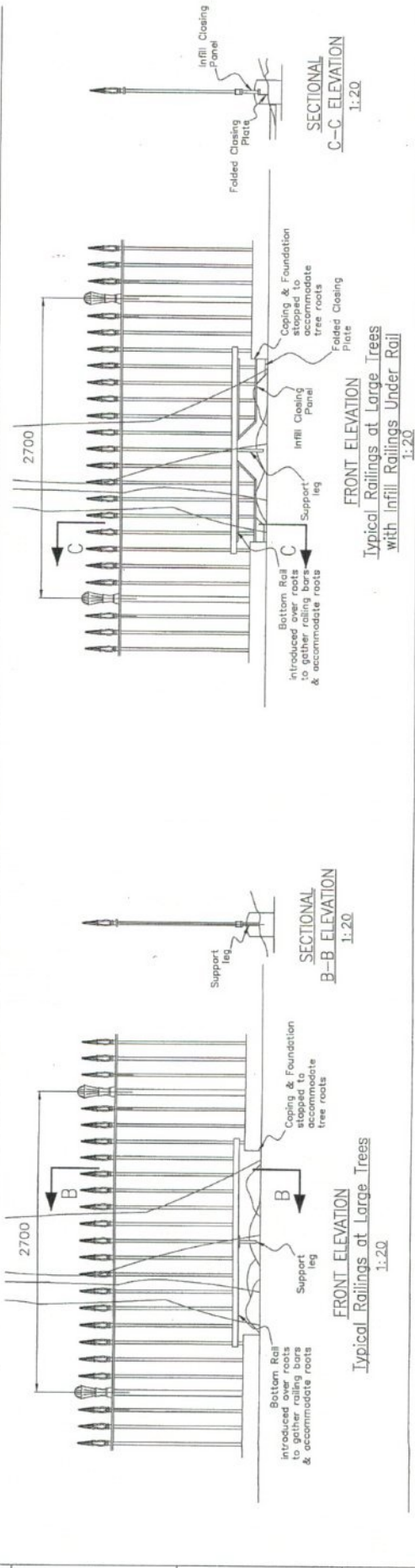
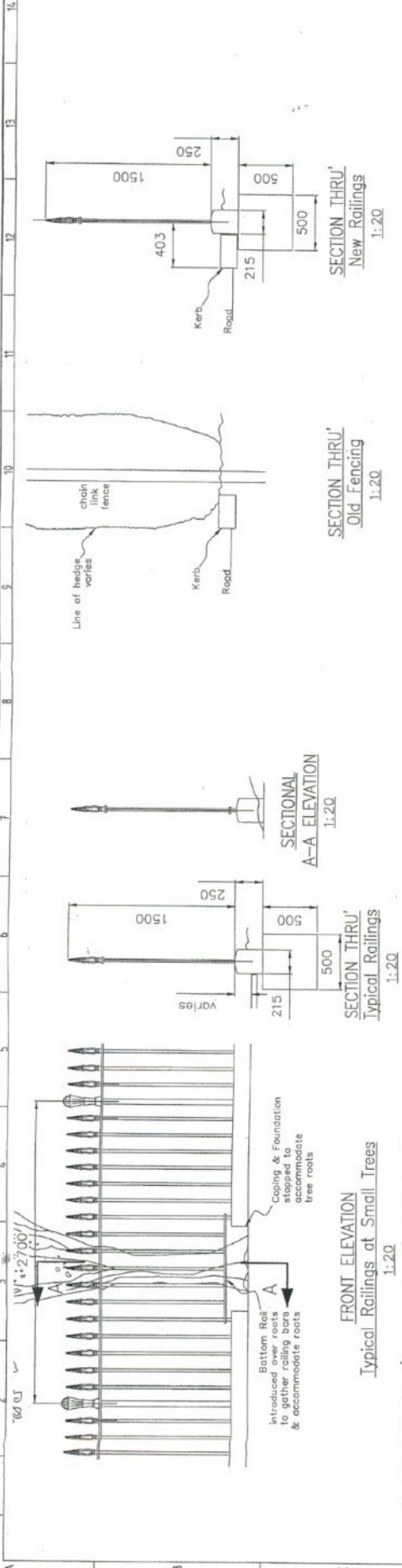
THE CHURCH COMMISSIONERS FOR ENGLAND

Project Number:	6366
Client Reference:	22-08-18
Drawn By:	SEE DWG
Checked By:	AWC
Scale:	1:100
Drawn Date:	10/11/2022
Drawn Time:	10/11/2022

RAILINGS AT TREE LOCATIONS
 GA

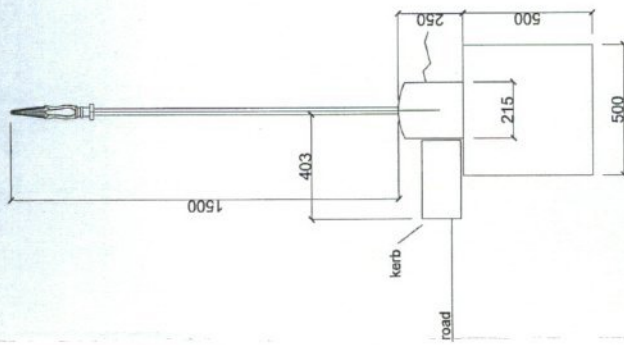
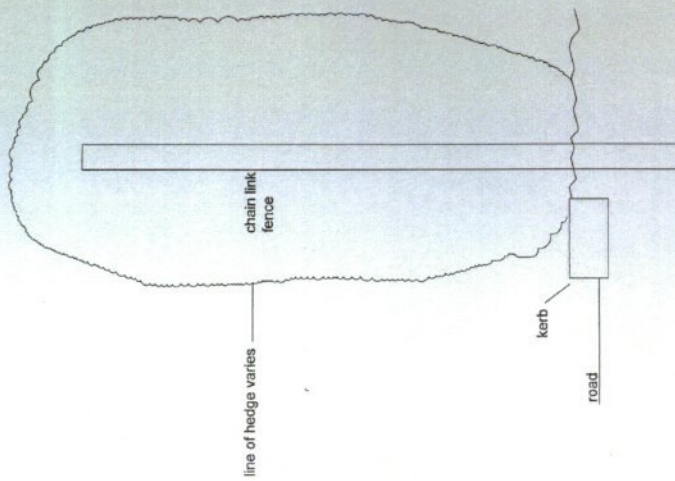
METALCRAFT
 Tobenham Limited
 6-40 Dumbard Street
 Seven Sisters Road
 London, N15 8NG
 Tel: 020 8822 2115
 Fax: 020 8822 2116
 E-mail: sales@metalcraft.com

Preliminary Proposals



General Notes

- This drawing must not be scaled.
- Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 60 x 1.5 flat top rail
 40 x 40 x 1.5 square section posts to match existing.
 Bars welded in to stone coping.



Situation with new railings.

Rev.	Date	Description
C	04-05-15	Single gate added
B	07-04-15	Height revised
A	27-03-15	Height revised to 1500

REVISIONS

METALCRAFT
 145 BUCKINGHAM PALACE
 TOTTENHAM LIMITED
 100, BRISTOL AVENUE
 TOTTENHAM, NORTH YORKSHIRE, UK
 TEL: 01877 464000 FAX: 01877 464001
 WWW.METALCRAFT.CO.UK

CLIENT
 The Church Commissioners

PROJECT
 Hyde Park Square & Clouetier Square

DRAWING TITLE
 Before and after conditions

DRAWN BY	CHECKED BY	DATE	SCALE
PW		14/05/15	1:1

PROJECT No. 100646 No. 100646
 [C] - Prelim-02

refer fabrik drawing D2292 L.212

Hyde Park Square

Hyde Park Square

- Notes**
1. This drawing is the property of fabrik and is not to be copied or reproduced without written consent.
 2. Only approved dimensions are to be taken from this drawing. All dimensions must call side and be representative.

fabrik
 10 The Pavilions
 100 Broad Street
 M6 3AP
 T: 0161 242 7722
 E: info@fabrik.com
 W: www.fabrik.com

Legend

	Existing trees retained		Existing wall
	Existing hedge		Existing fence
	Existing hedge to be removed		Existing lawn
			Existing lawn

	Proposed patio area (to be removed) (to be removed)		Proposed lawn area (to be removed) (to be removed)
	Proposed grass area (to be removed) (to be removed)		Proposed lawn area (to be removed) (to be removed)
	Proposed path area (to be removed) (to be removed)		Proposed lawn area (to be removed) (to be removed)

	Proposed wall (to be removed) (to be removed)		Proposed wall (to be removed) (to be removed)
	Proposed wall (to be removed) (to be removed)		Proposed wall (to be removed) (to be removed)

	Proposed path (to be removed) (to be removed)		Proposed path (to be removed) (to be removed)
	Proposed path (to be removed) (to be removed)		Proposed path (to be removed) (to be removed)

North

Scale 1:100 @ A1

Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners

Drawn by
 Hyde Park Squares: General Arrangement Plan
 (Sheet 1 of 2)

Client
 The Church Commissioners

Scale
 1:100 @ A1

Date
 Aug 15

Drawn
 AW

Revision
 B

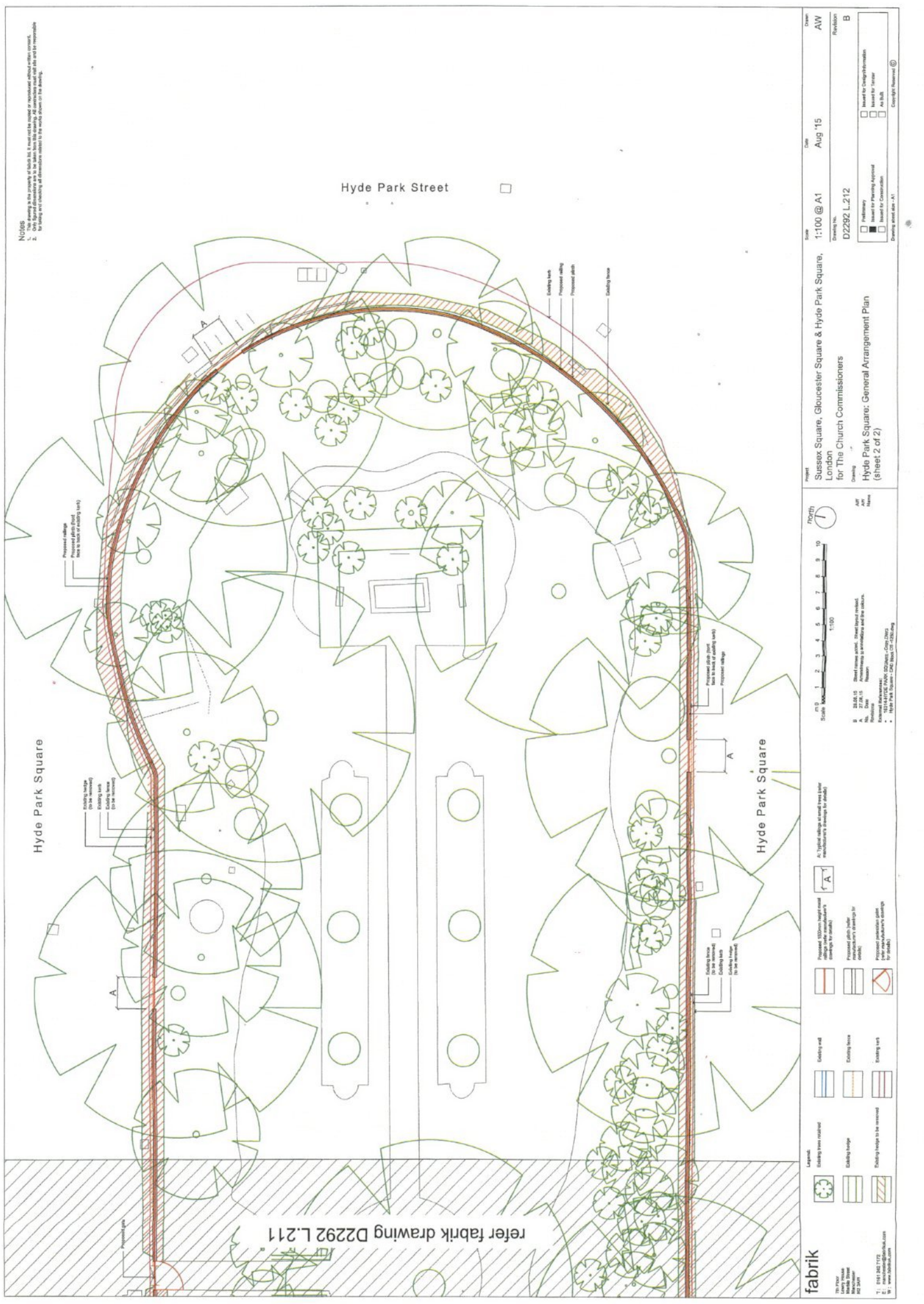
Drawing No.
 D2292 L.211

Checkmarks:

<input type="checkbox"/>	Proprietary	<input type="checkbox"/>	Issued for Daily Information
<input type="checkbox"/>	Issued for Planning Approval	<input type="checkbox"/>	Issued for Tender
<input type="checkbox"/>	Issued for Construction	<input type="checkbox"/>	As Built

Copyright Reserved ©

NG006
 1. The drawing is the property of fabrik Ltd. It must not be copied or reproduced without written consent.
 2. The drawing is for information only. It is not to be used for construction. It is not to be reproduced for printing and circulation without the written consent of the author.



refer fabrik drawing D2292 L.211

Scale: 1:100 @ A1
 Date: Aug '15
 Drawing No: D2292 L.212

<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issued for Client/Formation
<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Construction
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

Copyright Reserved ©

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Hyde Park Square, General Arrangement Plan (sheet 2 of 2)

Scale: 0 1 2 3 4 5 6 7 8 9 10
 1:100

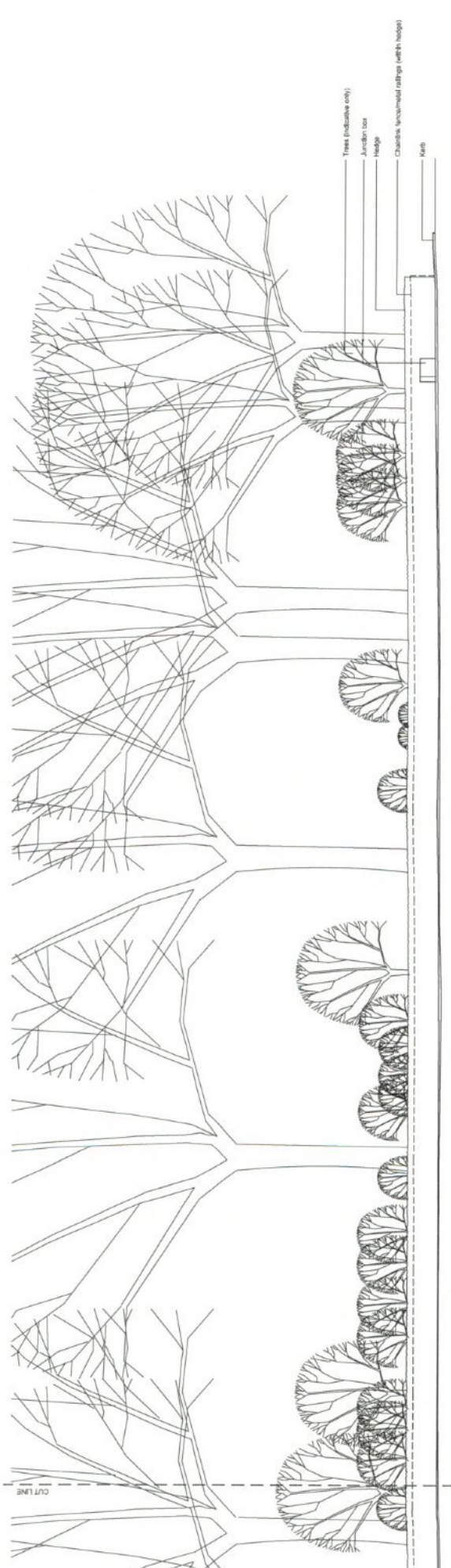
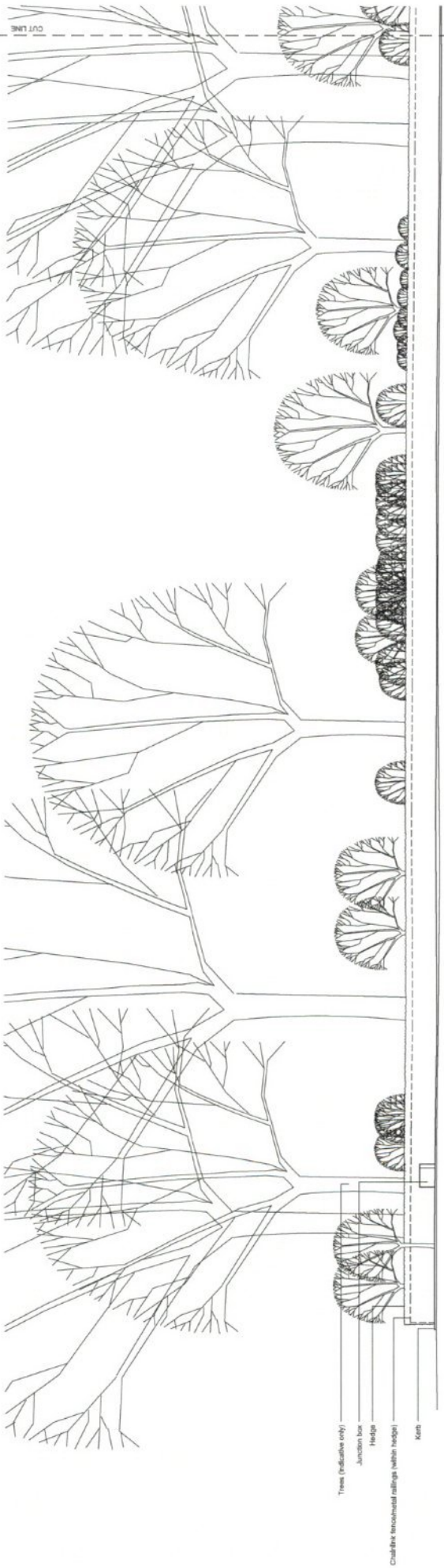
North

28.06.15
 No. Date
 Revision
 1. 13.11.14 (L2) FABRIK (2014) - Copy 2/15
 2. Hyde Park Square - CAD Block (2014) - Copy 2/15

fabrik
 The Firm
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

Notes

1. The drawing is the property of fabrik Inc. It must not be copied or reproduced without written consent.
2. The drawing is for information only. It is not intended to be used for construction. The client is responsible for checking and verifying all dimensions and details to the extent shown on the drawing.



Elevation 1

Project
Sussex Square, Gloucester Square & Hyde Park Square,
London
for The Church Commissioners

Drawing No.
D2292 L.423

Client
Hyde Park Square: Existing Elevations
Sheet 1

Scale
1:100 @ A1

Date
Feb '15

Drawn
AW

Revision

No.	Date	Reason	Name
1	10/10/2014	ISSUED FOR CONSTRUCTION	
2	10/10/2014	ISSUED FOR CONSTRUCTION	

Legend

- Preliminary
- Issue for Construction
- Issue for Information
- Issue for Review
- All Bids

Copyright reserved ©

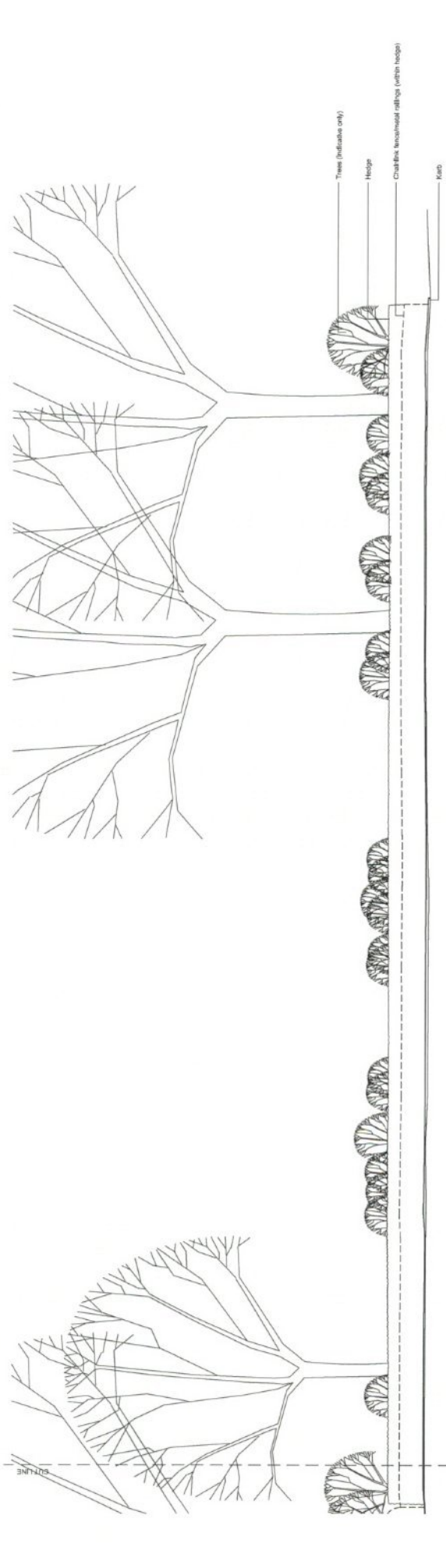
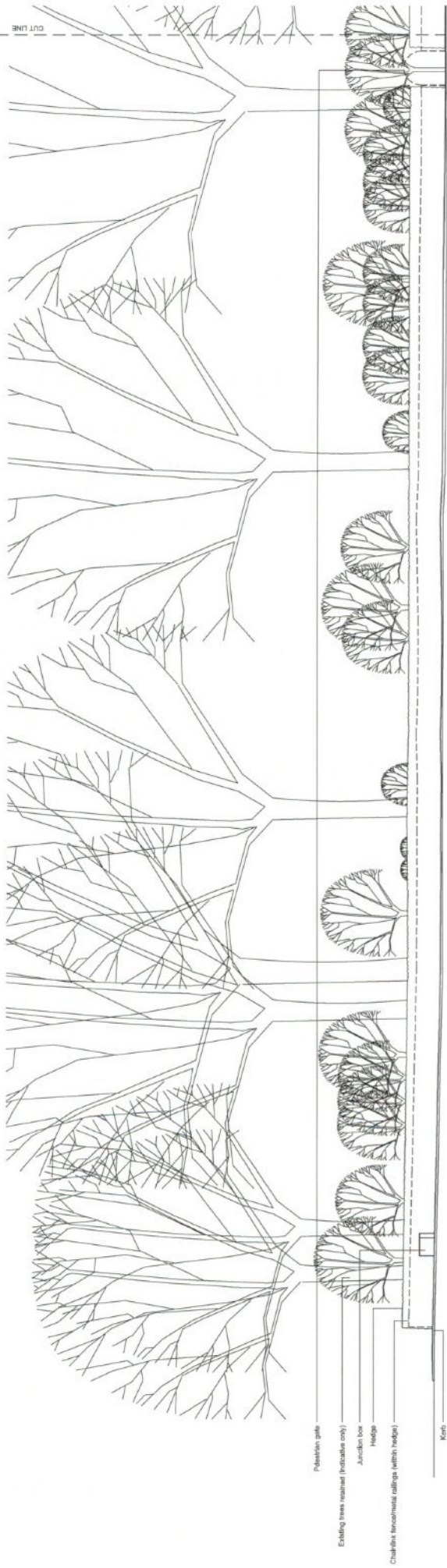
fabrik

The Place
Marble Street
London
EC2A 4DF

T: 0181 262 7172
E: info@fabrik.com
W: www.fabrik.com

Notes

1. This drawing is the property of Fabrik. It must not be copied or reproduced without written consent.
2. All dimensions are in millimetres unless otherwise stated. All dimensions should be taken from the centre line of the road and the kerb.



Elevation 2

fabrik

7th Floor
 100 H. GLOUCESTER SQUARE - CROYDON
 SURREY CR9 3JW
 T: 0181 242 1172
 W: www.fabrikgroup.com

Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners

Drawing
 Hyde Park Square: Existing Elevations
 Sheet 2

Client
 The Church Commissioners

Drawn
 AW

Date
 Feb '15

Scale
 1:100 @ A1

Drawing No.
 D2292 L.424

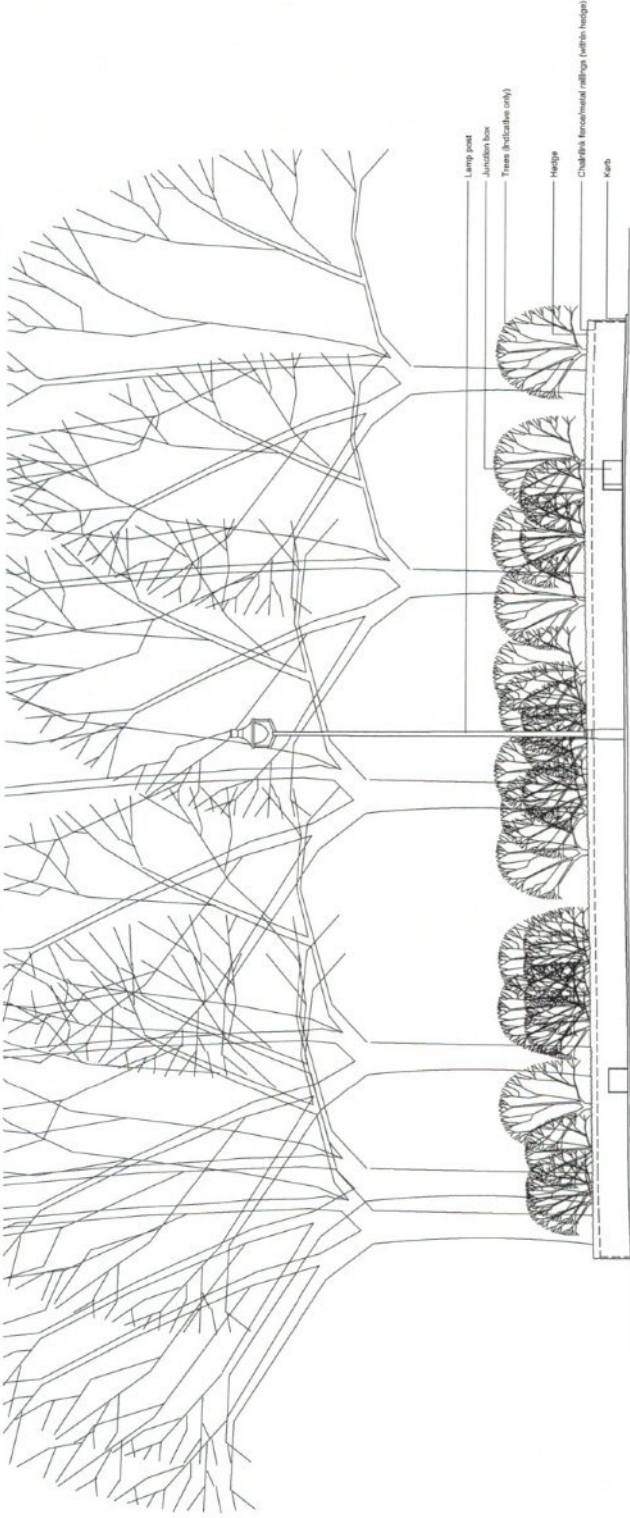
Revision

<input type="checkbox"/> Preliminary	<input type="checkbox"/> Based for Design/Develop
<input type="checkbox"/> Approved	<input type="checkbox"/> For Tender
<input type="checkbox"/> Based for Construction	<input type="checkbox"/> As Built

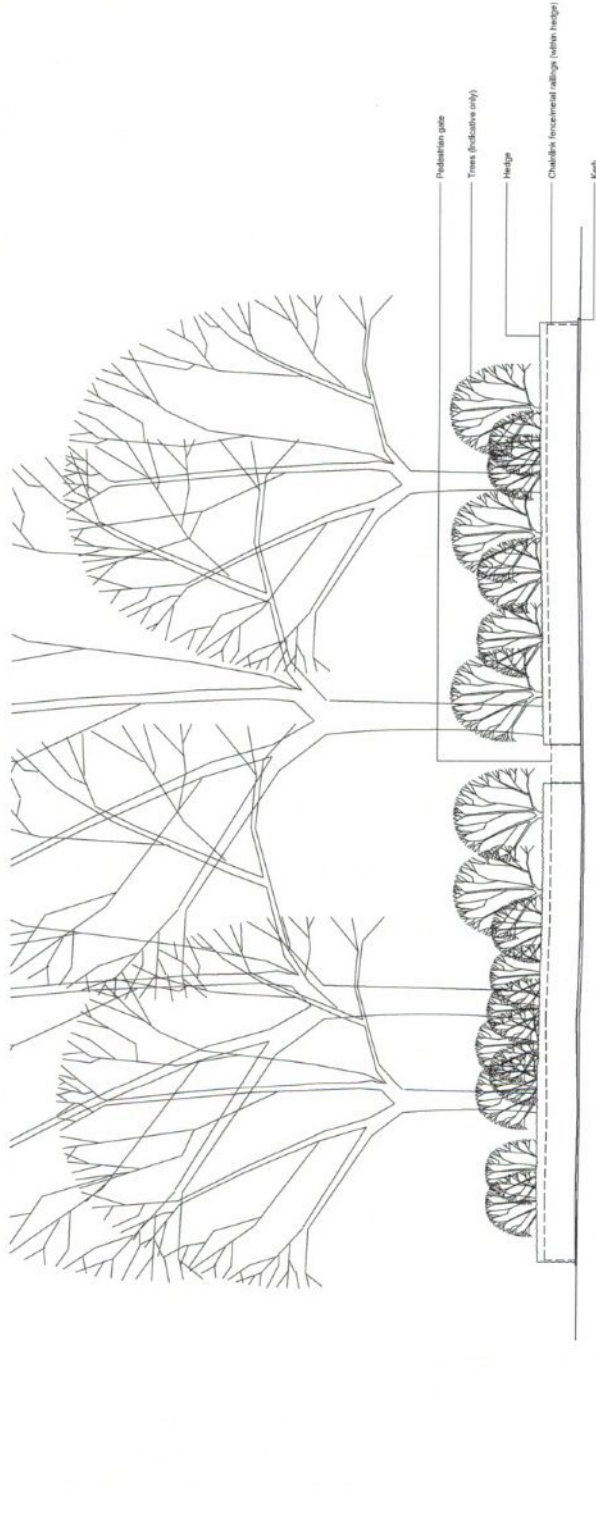
Drawing sheet size: A1
 Copyright reserved ©

Notes

1. Dimensions are given in millimetres (mm) unless otherwise stated.
2. All dimensions are to be taken from the centre of the object unless otherwise stated.
3. All dimensions are to be taken from the centre of the object unless otherwise stated.



Elevation 3



Elevation 4



Scale: 1:100 @ A1
 Date: Feb 15
 Drawing No.: D2292 L 425
 Revision: AW

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
 Drawing: Hyde Park Square: Existing Elevations Sheet 3

No. Date Author
 1 15/02/15 AW
 2 15/02/15 AW
 3 15/02/15 AW

fabrik
 7th Floor
 100 Broad Street
 London
 W1A 2JN
 T: 020 262 7172
 E: info@fabrik.com
 www.fabrik.com

Preliminary
 Issued for Design/Construction
 Issued for Planning Approval
 Issued for Tender
 As Built
 Copyright Reserved ©